

Richard Murphy Architects.
Fao James Mason.
The Breakfast Mission
15 Old Fishmarket Close
Edinburgh
EH1 1RW

Dr Gundula Thiel.
10 Randolph Crescent
Edinburgh
EH3 7TT

Decision date: 21 October 2020

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Alter existing roof access and provide permanent stair to new opening roof light.
Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter
inward facing pitched roof faces to give enlarged, accessible flat roof area
At 2F 10 Randolph Crescent Edinburgh EH3 7TT

Application No: 20/02744/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 24 August 2020, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.


Drawings 01-03, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The proposal does not comply with the Local Development plan or relevant associated guidance. The proposal is inappropriate in terms of scale and materials and would adversely impact the special architectural and historic interest of the listed building as well as the character and appearance of the conservation area. There are no material considerations which outweigh this decision.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Murray Couston directly at murray.couston@edinburgh.gov.uk.



Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

Application for Planning Permission 20/02744/FUL

At 2F, 10 Randolph Crescent, Edinburgh

Alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area

Item	Local Delegated Decision
Application number	20/02744/FUL
Wards	B11 - City Centre

Summary

The proposal does not comply with the Local Development plan or relevant associated guidance. The proposal is inappropriate in terms of scale and materials and would adversely impact the special architectural and historic interest of the listed building as well as the character and appearance of the conservation area. There are no material considerations which outweigh this decision.

Links

<u>Policies and guidance for this application</u>	LEN04, LEN06, NSLBCA, LDES12,
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Report of handling

Recommendations

1.1 It is recommended that this application be Refused for the reasons below.

Background

2.1 Site description

A listed, occupying the top two floors of a James Gillespie Graham, designed 1822, 3-storey with attic and basement. Listing date: 14/12/1970; listing reference: LB29601. Within the World Heritage Site.

This application site is located within the New Town Conservation Area.

2.2 Site History

16.09.2020 - Listed building consent refused for: Alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area (20/02745/LBC).

Main report

3.1 Description Of The Proposal

Planning permission is sought to alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area.

3.2 Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Section 59 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that in considering whether to grant planning permission for development which affects a listed building or its setting, a planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Report of Handling

Application for Planning Permission 20/02744/FUL

At 2F, 10 Randolph Crescent, Edinburgh

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Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states - special attention shall be paid to the desirability of preserving or enhancing the character or appearance of the conservation area.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

3.3 Assessment

To address these determining issues, it needs to be considered whether:

- a) the proposal is acceptable in principle;
- b) the proposals will impact on the character of the listed building;
- c) the proposal will preserve or enhance the character and appearance of the conservation area; and
- d) public comments have been addressed.

a) The proposal is to add a roof terrace to an A listed building. There are no similar developments in the surrounding area and the proposal would lead to an uncharacteristic and incongruous addition to the property. The proposal is not acceptable in principle.

b) The Historic Environment Policy for Scotland (HEPS) outlines how the Council should undertake the collective duty of care whenever a decision in the planning system will affect the historic environment. There are three key areas which define how the historic environment should be understood, recognised and managed to support participation and positive outcomes, including "Managing Change" under policies HEP2, HEP3 and HEP4.

HES *Managing Change in the Historic Environment guidance on Roofs* offers guidance on assessing proposals.

Policy Env 4 in the Edinburgh Local Plan (LDP) states that proposals to alter a listed building will be permitted where those alterations are justified; will not result unnecessary damage to historic structures or result in a diminution of the buildings interest; and any additions would be in keeping with other parts of the building.

The Council's non-statutory Guidance for Listed Buildings and Conservation Areas sets out additional guidance.

HES Managing Change Guidance: Roofs states that *the interest of a historic roof is derived from a number of factors including its shape or form, structure, covering materials, and associated features. The roof can play an important part in the architectural design of a historic building. In terms of alterations, it states that new work should normally match the original as closely as possible. The alteration of a roof can create additional space to allow the building as a whole to remain in use and develop with the needs of the occupants. In considering how to alter a roof it is important to*

understand the impact of the works on the roof itself and the appearance of the building or street as a whole. The potential for cumulative effects of similar developments should also be considered

The proposed roof terrace would be a discordant feature creating a level of intervention to the roof area that is not characteristic of the building and surrounding similar buildings in this largely uniform terrace. The extent of the changes to the roofscape of the building and its functionality would fundamentally change the character of the roof and an important part of the building's special interest. The proposals are not required for the beneficial use of the building, are not justified and would result in a diminution of its interest.

The proposals are contrary to the policy guidance published by Historic Environment Scotland and the Council's non-statutory guidance.

c) Planning Advice Note 71 on Conservation Area Management recognises conservation areas need to adapt and develop in response to the modern-day needs and aspirations of living and working communities. Policy Env 6 of the Local Development Plan permits development within a conservation area which preserves or enhances the special character or appearance of the conservation area and is consistent with the relevant conservation area character appraisal.

In terms of the roof terrace, this is a discordant intervention which is not characteristic of these buildings. In terms of the appearance of the conservation area, the glass barrier will be evident in both long and short views and its reflective qualities will be apparent and be disruptive to the uniformity of the terrace. In addition, roof terraces are not traditional features of the New Town Conservation Area and whilst the roof terrace will not be visible from the street, the roofscape of these New Town buildings will be severely altered. Aerial views of the New Town are particularly important and radical interventions to traditional roofscapes such as this are unnecessary and unacceptable interventions. The proposals fail to either preserve or enhance the character and appearance of the conservation area.

d) One letter of objection has been received. Comments raised have been addressed in sections b) and c).

Conclusion

The proposal does not comply with the Local Development plan or relevant associated guidance. The proposal is inappropriate in terms of scale and materials and would adversely impact the special architectural and historic interest of the listed building as well as the character and appearance of the conservation area. There are no material considerations which outweigh this decision.

It is recommended that this application be Refused for the reasons below.

3.4 Conditions/reasons/informatives

Reasons:-

1. The proposals do not have special regard to the desirability of preserving the building or its setting and would diminish the historic interests of the building and are not justified.
2. The proposals would result in an alteration that would not preserve the character and appearance of the conservation area.

Risk, Policy, compliance and governance impact

4.1 Provided planning applications are determined in accordance with statutory legislation, the level of risk is low.

Equalities impact

5.1 The equalities impact has been assessed as follows:

The application has been assessed and has no impact in terms of equalities or human rights.

Consultation and engagement

6.1 Pre-Application Process

There is no pre-application process history.

6.2 Publicity summary of representations and Community Council comments

One letter of representation has been received.

Background reading / external references

- To view details of the application go to
- [Planning and Building Standards online services](#)

Statutory Development

Plan Provision

The site is within the Urban Area, World Heritage Site and New Town Conservation Area.

Date registered

24 August 2020

Drawing numbers/Scheme

01-03,

David R. Leslie
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Murray Couston, Planning Officer
E-mail:murray.couston@edinburgh.gov.uk

Links - Policies

Relevant Policies:

LDP Policy Env 4 (Listed Buildings - Alterations and Extensions) identifies the circumstances in which alterations and extensions to listed buildings will be permitted.

LDP Policy Env 6 (Conservation Areas - Development) sets out criteria for assessing development in a conservation area.

Non-statutory guidelines 'LISTED BUILDINGS AND CONSERVATION AREAS' provides guidance on repairing, altering or extending listed buildings and unlisted buildings in conservation areas.

LDP Policy Des 12 (Alterations and Extensions) sets criteria for assessing alterations and extensions to existing buildings.

Appendix 1

Consultations

Historic Environment Scotland

10 Randolph Crescent forms part of a category A listed Georgian terrace designed by James Gillespie Graham in 1822. The application proposes to create an external roof terrace area by altering the existing roof structure and roof access.

The photographic evidence provided does suggest the original roof structure to the front has been replaced or altered, with the height of the ridge reduced. We therefore have no concerns with the further alteration of the roof now proposed, which we anticipate will be visually concealed.

The addition of a glass balustrade has the potential to be more impactful. This would be a non-traditional addition to the former townhouse that, if visible, would impact upon its appearance and character. We wouldn't expect any impact in close-up views of the building. However, No. 10 Randolph Crescent can be seen in some distant views. We would recommend that potential visual impacts are explored in more detail. If it is likely that the balustrade would be visible, we would recommend its location on the roof is re-considered to reduce its impact. The balustrade, as currently proposed, looks like it would be positioned on, or near, the ridge of the roof - if it was located further back would this reduce visual impact. A partial, instead of a full width balustrade, if appropriate, could help reduce its impact still further. We would also recommend metal would be a better choice of material for any balustrade.

Planning authorities are expected to treat our comments as a material consideration, and this advice should be taken into account in your decision making. Our view is that the proposals do not raise historic environment issues of national significance and therefore we do not object. However, our decision not to object should not be taken as our support for the proposals. This application should be determined in accordance with national and local policy on development affecting the historic environment, together with related policy guidance.

END



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100337330-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Ferguson Planning		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Tim	Building Name:	Shiel House
Last Name: *	Ferguson	Building Number:	
Telephone Number: *	01896 668 744	Address 1 (Street): *	54 Island Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Galashiels
Fax Number:		Country: *	UK
		Postcode: *	TD1 1HR
Email Address: *	tim@fergusonplanning.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Ms"/>	You must enter a Building Name or Number, or both: *
Other Title:	<input type="text"/>	Building Name: <input type="text" value="2F"/>
First Name: *	<input type="text" value="Gundula"/>	Building Number: <input type="text" value="10"/>
Last Name: *	<input type="text" value="Thiel"/>	Address 1 (Street): * <input type="text" value="Randolph Crescent"/>
Company/Organisation	<input type="text"/>	Address 2: <input type="text" value="Randolph Crescent"/>
Telephone Number: *	<input type="text"/>	Town/City: * <input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: * <input type="text" value="United Kingdom"/>
Mobile Number:	<input type="text"/>	Postcode: * <input type="text" value="EH37TT"/>
Fax Number:	<input type="text"/>	
Email Address: *	<input type="text" value="REDACTED"/>	

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="2F"/>
Address 2:	<input type="text" value="10 RANDOLPH CRESCENT"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH3 7TT"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="673933"/>	Easting	<input type="text" value="324425"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please see supporting Appeal Statement

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Appeal Statement prepared by Ferguson Planning Core Doc 1: 20/02744/FUL Decision Notice and Officers Report Core Doc 2: 20/02745/LBC Decision Notice and Officers Report Core Doc 3: Existing Plans Core Doc 4: Proposed Plans Core Doc 5: Additional Plan: Viewpoints Core Doc 6: Additional Plan: Roof plan

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

20/02744/FUL

What date was the application submitted to the planning authority? *

24/08/2020

What date was the decision issued by the planning authority? *

21/10/2020

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☐ Yes ☒ No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

Site inspection to gain a full understanding of the proposal and its context.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☐ Yes ☒ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☐ Yes ☒ No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

Applicant will provide access to the site upon request.

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Ferguson Planning Tim Ferguson

Declaration Date: 01/12/2020



**APPEAL STATEMENT IN RELATION TO CITY OF
EDINBURGH COUNCIL REFUSAL OF: PLANNING
PERMISSION TO ALTER EXISTING ROOD ACCESS
AND PROVIDE PERMANENT STAIR TO NEW OPNING
ROOF LIGHT. REMOVE EXISTING LANTERN OVER
BATHROOM AND REPLACE WITH NEW, FLAT GLASS
ROOFLIGHT. ALTER INWARD FACING PITCHED ROOF
DACES TO GIVE ENLARAGED, ACCESSIBLE FLAT
ROOF AREA.**

2F, 10 RANDOLPH CRESCENT, EDINBURGH

APPLICANT: DR GUNGULA THIEL

NOVEMBER 2020

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Appendices:

Appendix 1: Core Documents

Author	Date
Lucy Moroney	24/11/2020
Approved	Date



1. Introduction

- 1.1 This Appeal Statement is submitted on behalf of Dr Gundula Thiel against the decision of City of Edinburgh Council to refuse Planning Permission and Listed Building Consent for the alteration of the existing roof access and provision of permanent stair to new opening roof light, along with the removal of existing lantern over the bathroom and replaced with new, flat glass rooflight. The proposals also include the alteration of inward facing pitched roof faces to give enlarged, accessible flat roof area (application reference 20/02744/FUL and 20/02745/LBC). The Planning Application refusal was dated 21st October 2020 and the Listed Building Consent refusal was dated 16th September 2020. This Appeal Statement provides supporting information for the Appeal of both decisions.
- 1.2 The key reasons for the refusal of the Planning Application include:
 - The proposal does not comply with the Local Development plan or relevant associated guidance.
 - The proposal is inappropriate in terms of scale and materials and would adversely impact the special architectural and historic interest of the listed building as well as the character and appearance of the conservation area. There are no material considerations which outweigh this decision.
- 1.3 The reason for the refusal of the Application for Listed Building Consent include the following:
 - The proposed works fail to preserve the listed building and its setting and have an adverse impact on the character and appearance of the conservation area.
 - The proposals fail to preserve or enhance the character and appearance of the conservation area which is particularly important in terms of its roofscapes, as the introduction of the glass barriers and a roof terrace are incongruous interventions which affect the uniformity of New Town buildings.
- 1.4 Under three Grounds of Appeal, this Statement will demonstrate that the proposed development would not constitute adversely impacting the special architectural and historic interests of the listed building and that there would be no adverse impact on the conservation area.
- 1.5 The Applications for Planning Permission and Listed Building Consent included the following drawings and documents, which are re-supplied with this Appeal.
 - Location Plan and Site Plan;
 - Existing Plans, Elevations, Sections and Downtakings;
 - Proposed Plans, Sections and Elevations
- 1.6 The Planning Officer's Report and Decision Notices relating to the refused applications are also included.

- 1.7 The remaining sections in this Appeal Statement summarise the planning history relating to the site, the Committees' refusals and planning policy, before providing the supporting case for the Appeals under three Grounds of Appeal. Key points are summarised in the conclusions section.
- 1.8 The Reporter, having considered the detail contained within the refused Planning Application and the refused application for Listed Building Consent, together with the information set out herein, will be respectfully requested to allow the Appeal to enable planning permission and listed building consent to be granted for the proposed development at 2F, 10 Randolph Crescent, Edinburgh.

2. Site Context and Key Planning History

- 2.1 This Appeal Statement against CEC decision to refuse Planning Permission and Listed Building Consent relates to the development of a roof terrace for residential enjoyment at 2F 10 Randolph Crescent, Edinburgh, EH3 7TT.

Site Context

- 2.2 10 Randolph Crescent forms part of a formal linked terrace of buildings designed by James Gillespie Graham in 1822, located in the Edinburgh New Town Conservation Area and World Heritage Zone and connecting the west end of Queens Street with Queensferry Street. The property is Grade A listed along with no.s 9-17 Randolph Crescent (inclusive) and 1 and 1A Randolph Cliff (including railings) under reference LB29601.
- 2.3 The property at no. 10 has been divided from its original townhouse form and now contains a number of private dwellings. The main door off Randolph Crescent provides access to a ground and basement apartment (10) with the former main stair leading a first-floor apartment (10 1F) and access to the two-storey application property (10 2F) above. Separate access to the rear leads to a two-storey garden level apartment. Recent Planning application ref 18_01668_FUL, seeking to combine the two lower apartments (10 GF & 10BF) was granted. 10B occupies the front half of the basement and is separately accessed from the lightwell off the street.
- 2.4 Access to the roof is entirely from within the application property 10 2F via an opening rooflight. Roof configuration to the crescent properties appears to vary, dependant on geometry.
- 2.5 Evidence of historic modification to the original roof profile can be seen on adjoining chimney stacks (as noted in Figure 4 within this statement). These modifications have resulted in a combination of low and high pitched slated roofs, ridge, monopitch and lantern rooflights and stepped lead valley guttering and flat roofing.

Planning History

- 2.6 Referring to the City of Edinburgh Council planning application search, the table below identifies seven historic planning application relating the to the subject site, including the two applications this Appeal Statement relates to.

LPA Ref	Proposal	Decision
08/02281/LBC	Internal alterations	Approved 26 th September 2008
09/00049/FUL	Change of use from wash house to residential dwelling	Withdrawn 6 th February 2009
09/00049/LBC	Internal alterations - wash house to residential dwelling	Withdrawn 6 th February 2009
09/00447/LBC	Internal alterations (revised)	Approved 27 th February 2009

19/03664/LBC	Upgrade of the existing timber sash and case windows.	Approved 16 th September 2019
20/02744/FUL	Alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area	Refused 21st October 2020 In which this Appeal Statement relates to.
20/02745/LBC	Alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area	Refused 16th September 2020 In which this Appeal Statement relates to

Neighbouring Applications of Interest

- 2.7 It is important to note there have recently been a number of approvals for rooftop developments within close proximity to the site. these are identified within the table below:

LPA Ref	Proposal	Address	Status
20/02782/FUL	A new dormer roof extension to an existing three storey townhouse to provide a small external recessed roof terrace, accessed via an extension to the existing internal stair. The dormer will provide access to the existing valley gutters.	35 Atholl Crescent Lane Edinburgh EH3 8ET	Granted 20/08/20
20/02243/LBC	Internal alterations to create new kitchen / dining room. Upgrades to existing sanitary facilities. Formation of larger living space on the attic floor with access to a new roof terrace. New dormers to the front and rear.	1F2 4 Clarendon Crescent Edinburgh EH4 1PT	Granted 11/08/20
20/00175/FUL	Proposed extended roof conversion to include forming a new rear dormer window	68 Meadowfield Terrace Edinburgh EH8 7NU	Granted 13/03/20

	and roof terrace (as amended).		
19/06102/FUL	Extension of existing building envelope within the parameters of the existing roof line; New lower and upper terraces to rear of property; New window on principal elevation and new glazed opening on upper level to rear.	8A Easter Belmont Road Edinburgh EH12 6EX	Granted 19/02/2020

3. Proposed Development

- 3.1 The Current roof access is by way of retractable loft ladder within the study/bedroom on the third floor up into the low roof void on the north side and subsequent out via an opening roof light onto the central valley gutter. Access is thus difficult and constrained.
- 3.2 The proposal seeks to provide permanent stair access out to a larger flat roof area via a proprietary glazed, low profile, rooflight (sky door) located in a former store accessed via a new opening off the hallway.
- 3.3 Since the division of the property, the upper apartment has no access to outdoor space. The proposal thus seeks to provide, in as inconspicuous a way as possible, private outdoor space for the apartment's use. It is clear from the recent lock-down and social isolation period that access to non-public, external space is a vital constituent of both physical and mental health and wellbeing.
- 3.4 The proposal aims to provide usable external space via the part removal of internal, valley facing sections of slate roofing and the incorporation of new flat roof construction and decking areas. Additionally, an existing poor quality, lantern rooflight structure is proposed to be replaced with a low profile, walk-on flat rooflight over the existing bathroom. Access into the remaining roof void area via hinged doors in the new vertical rain screen cladding allows any loose furniture to be put away and secured with ease, leaving the terrace free of any potentially visible structures when not in use. Finally, a minimal, frameless glass balustrade is proposed along the remaining low pitched roof edge to the south to provide an appropriate safely railing height yet set back sufficiently to be invisible from pavement level.

4. Refusal of Application by City of Edinburgh Council

4.1 The Planning Application was refused by a Local Delegated Decision by City of Edinburgh Council on 21st October 2020 on the bases set out below:

- 1. The proposal does not comply with the Local Development plan or relevant associated guidance.*
- 2. The proposal is inappropriate in terms of scale and materials and would adversely impact the special architectural and historic interest of the listed building as well as the character and appearance of the conservation area. There are no material considerations which outweigh this decision.*

4.2 The application for Listed Building Consent (LPA ref: 20/02745/LBC) was refused by a delegated decision by City of Edinburgh Council on 16th September 2020 on the bases set out below:

- 1. The proposed works fail to preserve the listed building and its setting and have an adverse impact on the character and appearance of the conservation area.*
- 2. The proposals fail to preserve or enhance the character and appearance of the conservation area which is particularly important in terms of its roofscapes, as the introduction of the glass barriers and a roof terrace are incongruous interventions which affect the uniformity of New Town buildings.*

5. Planning Policy Context

- 5.1 This section outlines the principle planning policy considerations which have informed the suitability of the development which provide the context for the consideration if this retrospective planning application.
- 5.1 The adopted Strategic Development Plan sets out the vision for the long-term development of the south east of Scotland area including the City of Edinburgh. The adopted Edinburgh Local Development Plan sets out policies and proposals to guide development and will be key for determining any proposals on the sites in questions.

City of Edinburgh Council Local Development Plan 2016

- 5.2 The Edinburgh Local Development Plan (LDP) was adopted in November 2016 and represents the most up to date development plan, containing planning policy against which applications are assessed by the Planning Authority.
- 5.3 City of Edinburgh Council is currently in the process of preparing City Plan 2030 which is intended to replace the currently Local Development Plan before the end of 2022. The Call for Sites consultation ran between January and April 2020.
- 5.4 SESPlan is a strategic document focused on the larger centres and developments. The scale of the proposal is considered to sit at a lower or more local level. Given many of the policy principles will be similar it is considered more relevant to assess the development against the LDP.
- 5.5 With reference to the adopted CEC Proposals Map, the Site is within New Town Conservation Area, adjoining the City Centre Boundary to the south. To the rear of the site to the north lies a Special Landscape Area and Local Natura Conservation Site within the gardens associated with the site. the City Centre Retail Core is to the south east.
- 5.6 The site itself is also Category A listed.
- 5.7 Relevant policies include:
- Policy Des 1: Design Quality and Context
 - Policy Des 4: Development Design- Impact on Setting
 - Policy Des 5: Development Design- Amenity
 - Policy Des 7: Layout Design
 - Policy Des 12: Alterations and Extensions
 - Policy Env 3: Listed Buildings- Setting
 - Policy Env 4 Listed Buildings- Alterations and Extensions

- Policy Env 6- Conservation Areas- Development
- Policy Env 7- Historic Gardens and Designated Landscapes
- Policy Env 11- Special Landscape Areas
- Policy Env 15- Sites of Local Importance

5.8 An extract of CEC adopted Proposals Map of the site is shown in Figure 1 below.

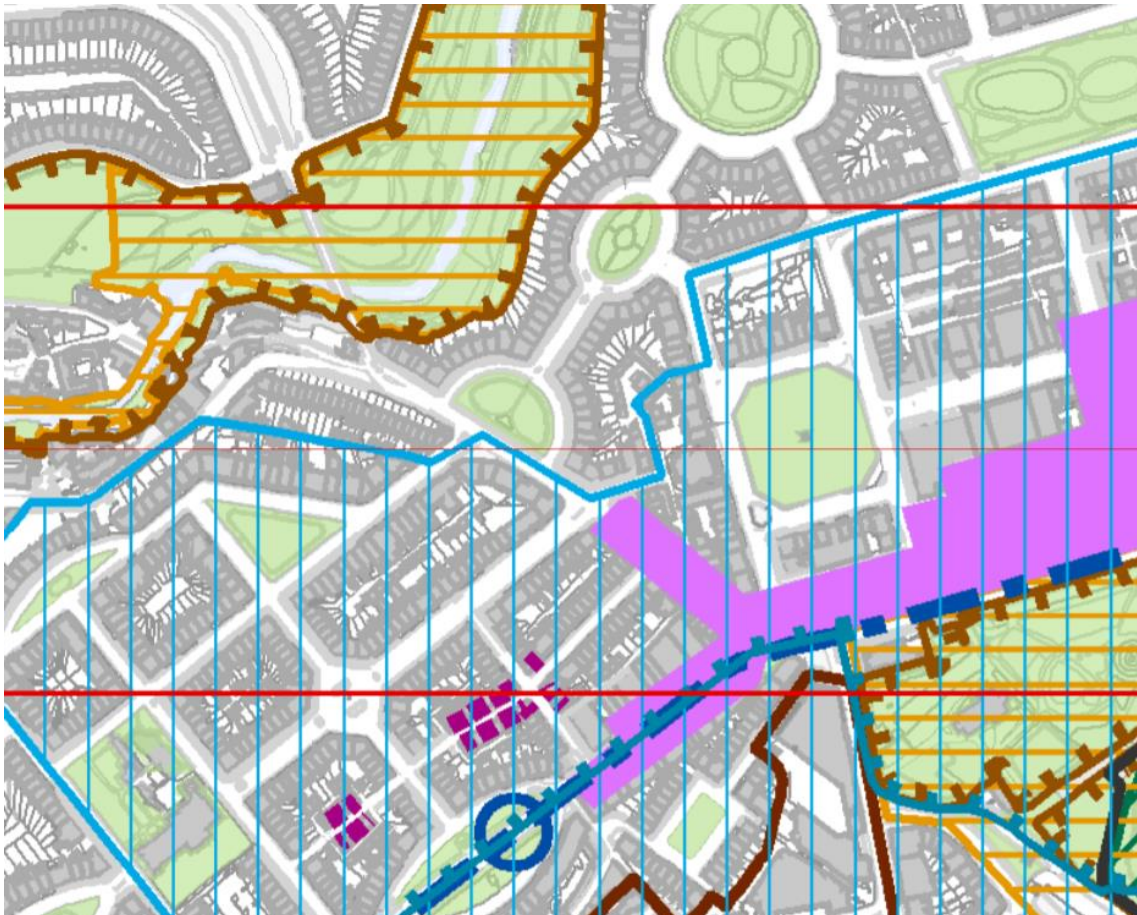


Figure 1 above CEC Proposals Map extract. Source: City of Edinburgh Council LDP.

- 5.9 Policy Env 4 states that proposals to alter a listed building will be permitted where those alterations are justified; will not result unnecessary damage to historic structures or result in a diminution of the buildings interest; and any additions would be in keeping with other parts of the building.
- 5.10 Policy Env 6 of the Local Development Plan permits development within a conservation area which preserves or enhances the special character or appearance of the conservation area and is consistent with the relevant conservation area character appraisal.

Material Considerations

Strategic Development Plan 2

- 5.11 The Strategic Development Plan 2 was submitted to the Scottish Ministers for examination on Monday 26th June 2017. The examination of the plan commenced in August 2017 which was then rejected by Scottish Ministers in May 2019. Once adopted that plan will replace the existing Strategic Development Plan and set out the vision for the long-term development of the south east of Scotland area including the City of Edinburgh.

City Plan 2030

- 5.12 The City Plan 2030 will set out policies and proposals for development within Edinburgh between 2020 and 2030 which went out for consultation earlier this year. A report on the responses to choices for the plan was considered by the Planning Committee on the 12th August 2020.

Planning (Listed Building and Conservation Areas) Scotland Act 1997

- 5.13 The Planning (Listed Building and Conservation Areas) Scotland Act 1997 seeks to consolidate certain enactments relating to special controls in respect of buildings and areas of special architectural or historic interest. The Act requests proposals for development to preserve the character and setting of listed buildings and preserve or enhance the character and appearance of conservation areas.

Historic Environment Policy for Scotland (HEPS)

- 5.14 The Historic Environment Policy for Scotland outlines how Local Planning Authorities should undertake the collective duty of care whenever a decision in the planning system will affect the historic environment.
- 5.15 HES Managing Change Guidance: Roofs states that the interest of a historic roof is derived from several factors including its shape or form, structure, covering materials, and associated features. The roof can play an important part in the architectural design of a historic building. In terms of alterations, it states that new work should normally match the original as closely as possible. The alteration of a roof can create additional space to allow the building as a whole to remain in use and develop with the needs of the occupants. In considering how to alter a roof it is important to understand the impact of the works on the roof itself and the appearance of the building or street as a whole. The potential for cumulative effects of similar developments should also be considered

Neighbouring Consents

- 5.16 As previously mentioned in Section 2 of this report, the approval of a number of rooftop developments within proximity to the site sets a precedent for the development proposals within a Conservation Area.
- 5.17 In comparison to the proposals this Appeal Statement relates to, the approvals identified above appear to be more exposed from public receptor points.
- 5.18 Figure 2 and 3 below identify the approved plans for the planning consent at 35 Atholl Crescent Lane (LPA ref: 20/02782/FUL).

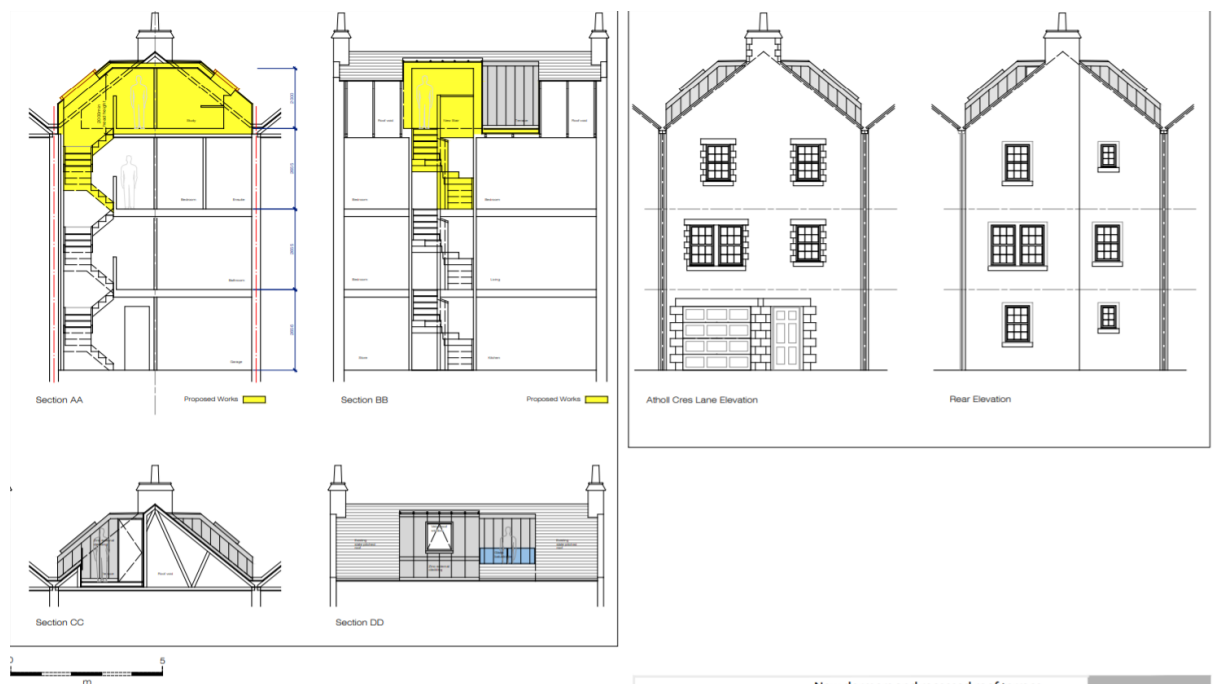


Figure 2 above: Approved Elevations of planning consent LPA ref: 20/02782/FUL.

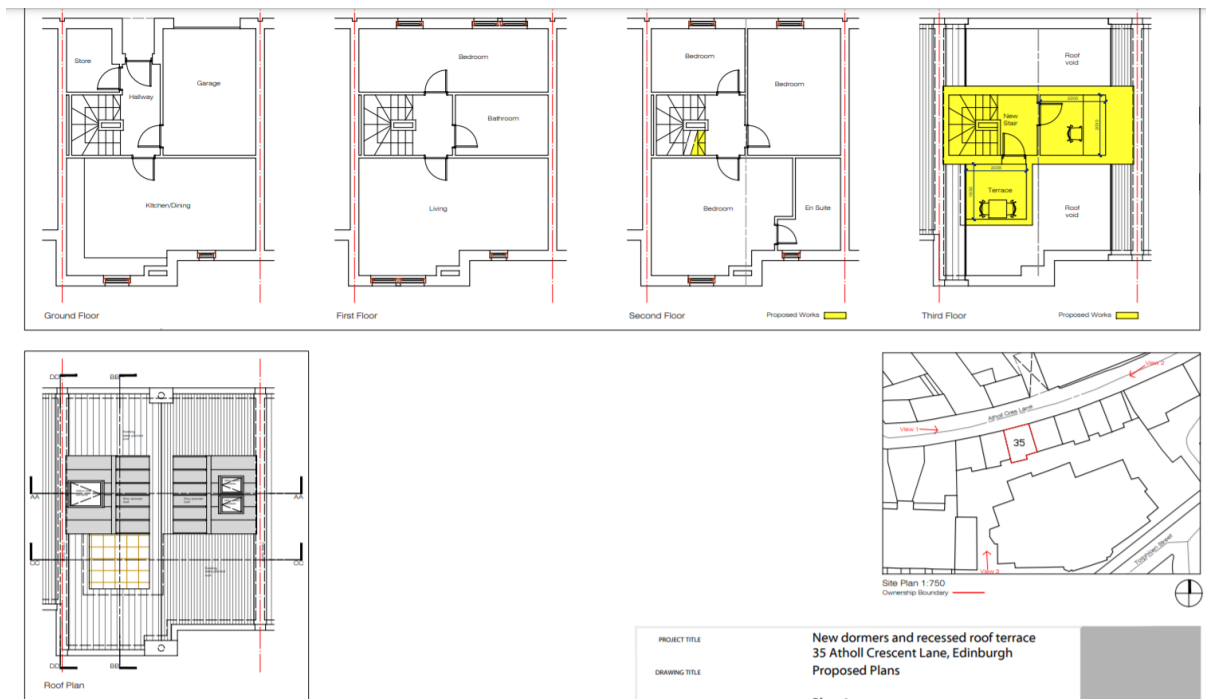


Figure 3 above: Approved floor plan for planning consent LPA ref: 20/02782/FUL.

- 5.19 In addition to the recent approval above, an application for a roof terrace has been approved at 1F2 4 Clarendon Crescent (LPA ref: 20/02243/LBC) setting a precedent for rooftop developments on a listed building. The approved plans are outlined below:



Figure 4: Approved roof plan for planning and listed building consent (LPA ref: 20/02243/LBC)

Consultee Responses

- 5.20 During the consultation period, Historic Environment Scotland raised no objections to both the Planning Application and the Listed Building Consent application. The full response is set out below:

“The photographic evidence provided does suggest the original roof structure to the front has been replaced or altered, with the height of the ridge reduced. We therefore have no concerns with the further alteration of the roof now proposed, which we anticipate will be visually concealed.

The addition of a glass balustrade has the potential to be more impactful. This would be a non-traditional addition to the former townhouse that, if visible, would impact upon its appearance and character. We wouldn't expect any impact in close-up views of the building. However, No. 10 Randolph Crescent can be seen in some distant views. We would recommend that potential visual impacts are explored in more detail. If it is likely that the balustrade would be visible, we would recommend its location on the roof is reconsidered to reduce its impact. The balustrade, as currently proposed, looks like it would be positioned on, or near, the ridge of the roof - if it was located further back would this reduce visual impact. A partial, instead of a full width balustrade, if appropriate, could help reduce its impact still further. We would also recommend metal would be a better choice of material for any balustrade.

Planning authorities are expected to treat our comments as a material consideration, and this advice should be taken into account in your decision making. Our view is that the proposals do not raise historic environment issues of national significance and therefore we do not object. However, our decision not to object should not be taken as our support for the proposals. This application should be determined in accordance with national and local policy on development affecting the historic environment, together with related policy guidance.”

- 5.1 There were no further consultations received relating to this proposal.
- 5.2 There were two letters of support of neighbouring residents highlighting the minimal impact this proposal will have on the character of the area, as property owners within this area seek to maintain and enhance the significant heritage assets in which they are fortunate enough to be residents in.

6. Grounds of Appeal and Case for the Appellant

6.1 The Local Authority's decision to refuse the applications is challenged on the basis of three grounds set out below. It is asserted that the Proposals accords with the relevant policies and intentions of the Local Development Plan and Supplementary Planning Guidance and there are no material considerations which indicate that the Council's refusal of the applications should be upheld.

6.2 The Appellant sets out the following three Grounds of Appeal in respect of the refusals of the Planning Application and application for Listed Building Consent.

- **Ground 1:** The proposals would preserve the listed building and its setting and not have adverse impact on the character and appearance of the conservation area. The materials proposed would not affect the uniformity of the New Town Buildings.
- **Ground 2:** The Proposal is not inappropriate in terms of scale and materials and would not adversely impact the special architectural and historic interest of the listed building nor the character and appearance of the conservation area.
- **Ground 3:** There are no other material considerations which warrant refusal of the application.

Ground 1: The proposals would preserve the listed building and its setting and not have adverse impact on the character and appearance of the conservation area. The materials proposed would not affect the uniformity of the New Town Buildings.

6.3 As the building currently stands, the roof is in a dilapidated state, in desperate need of repair with tiles falling away, causing the roof to leak through to the ceiling which is evident in the images below.



Figure 5: Water damage at 2F, 10 Randolph Crescent due to leaking roof.



Figure 6 above: Water damage at 2F, 10 Randolph Crescent due to leaking roof.

- 6.4 The proposals will enable the essential maintenance of the roof, preserving and enhancing the Category A listed building.
- 6.5 In terms of uniformity of New Town Buildings, it is evident that although the front elevations of dwellings are fairly consistent in design and materiality, the rooftops of the neighbouring area do not mimic one another with a number of amendments to the original dwellings, making a unique and interesting skyline, enhancing the character of the area.



Figure 7 above: skyline looking over the rear (north) of the Site.



Figure 8 above: Aerial view of properties on Randolph Crescent



Figure 9 above: Skyline looking over to west of site



Figure 10 above showing alterations to the existing chimney of no. 10 Randolph Crescent



Figure 11 above alterations to the existing chimney of no. 10 Randolph Crescent

- 6.6 The figures above illustrate the fact that previous, higher roof structures, suggesting that the original roof had been altered already. As such, it is thought the design and materiality of the proposal are very much in keeping of the New Town Buildings and would not adversely impact the setting of the listed building nor the Conservation Area.

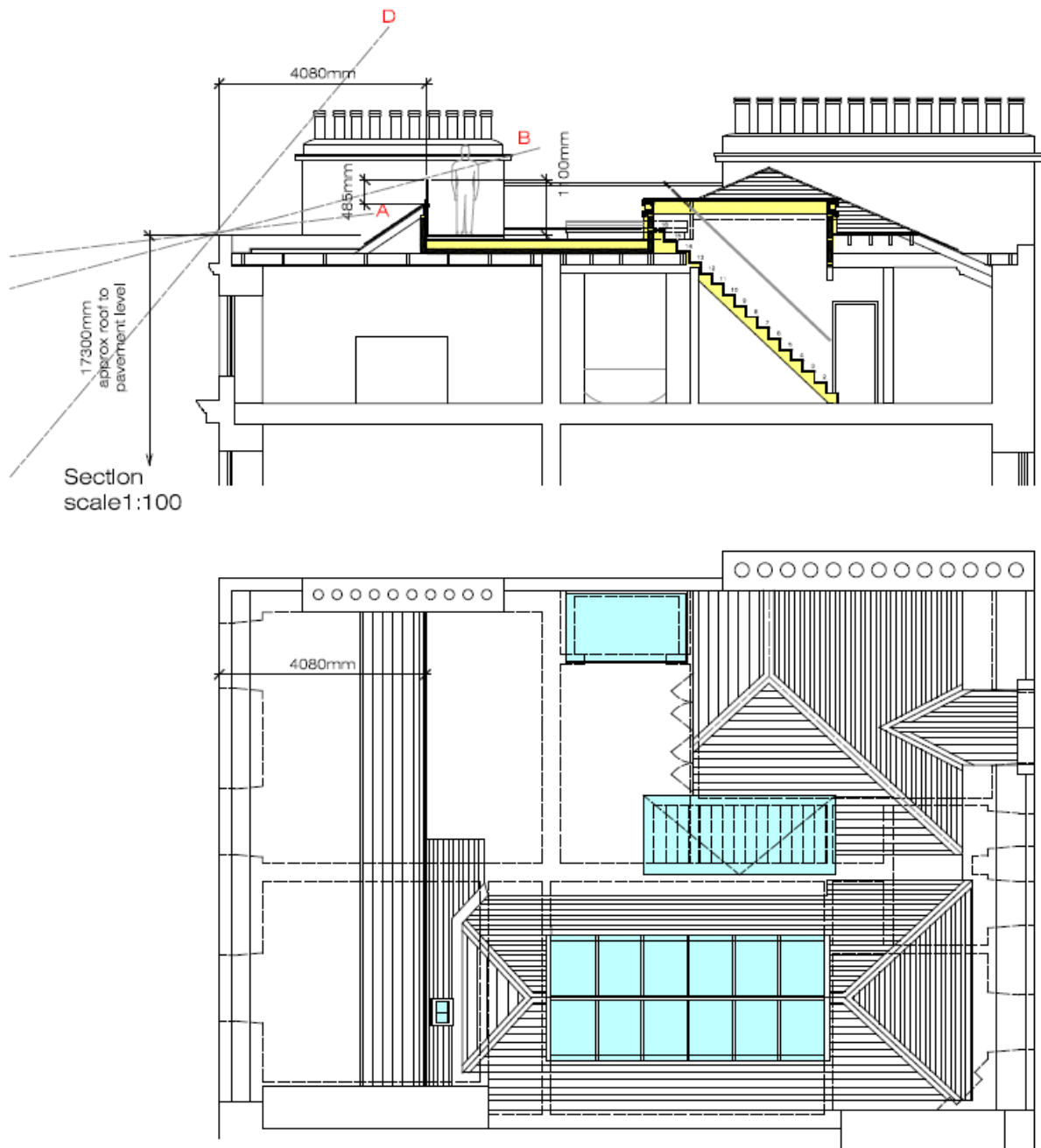


Figure 12: Proposed Roof Plan and Sections outlining distance from façade.

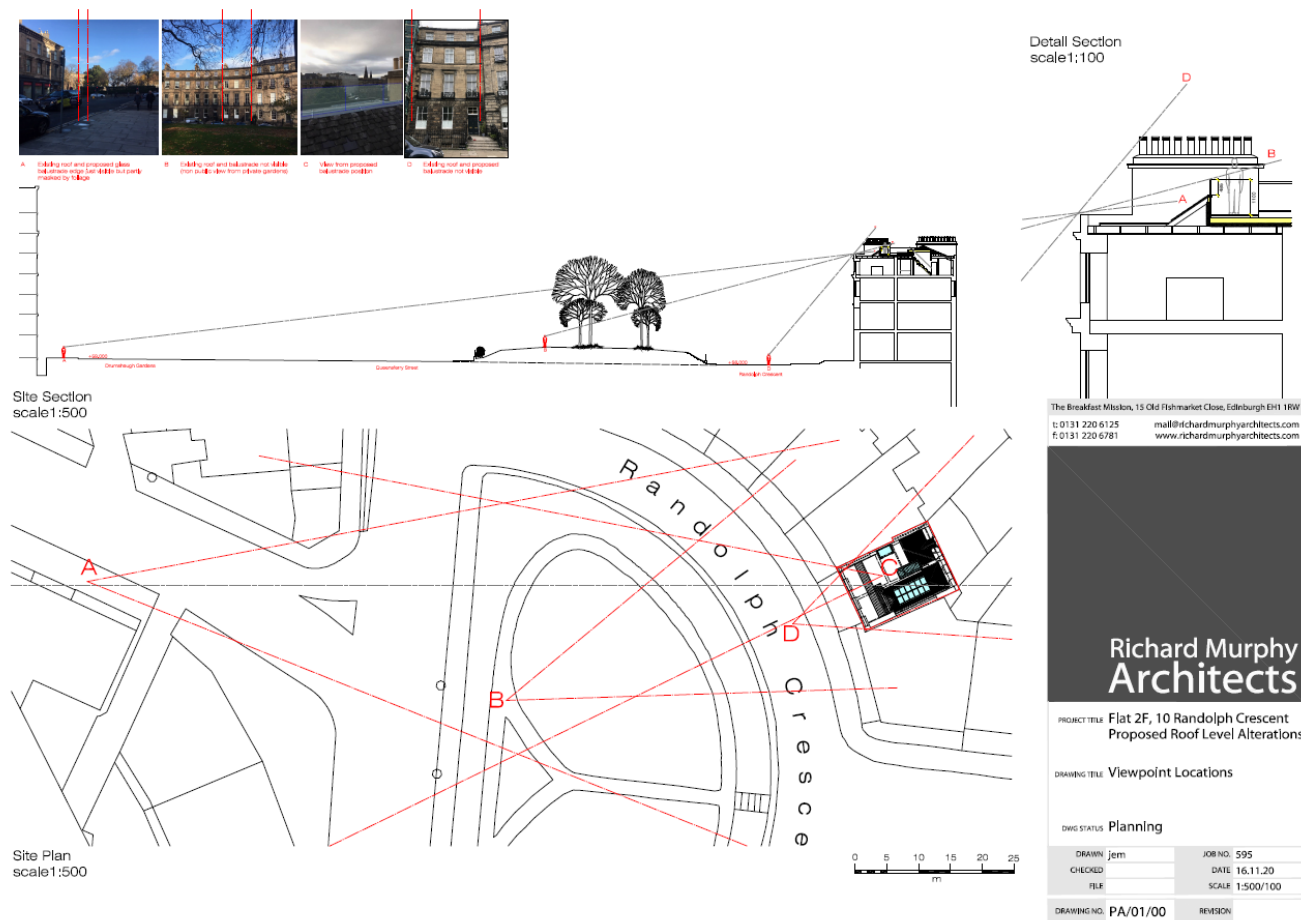
- 6.7 In addition, the existing ridge to the front of the site identified in Figure 13 below further reduces the visual impact the proposals may have on the neighbouring area as the proposed roof top will lie behind the existing ridge, resulting in the proposals being set back by 4080 mm from the front façade, this is illustrated in figure 12 above. As such, the proposals will not be visible from the majority of public receptor points. Figures 14 and 15 below identify the locations where segments of the proposal may be visual from, noting the impact will be minimal.



Figure 13 above: Existing ridge to the front of the site



Figure 14 above: North of Drumsheugh Gardens (nearest public receptor point the proposals may be visual from).



- 6.8 It is concluded the proposals would preserve the listed building through providing the essential maintenance of the roof to prevent further water damage to the property. It is thought the proposals will have less than substantial harm to the character and appearance of the conservation area as due to careful consideration within the design there will be minimal visual impact from public receptor points whilst respecting the character of the New Town Building.

Ground 2: The Proposal is not inappropriate in terms of scale and materials and would not adversely impact the special architectural and historic interest of the listed building nor the character and appearance of the conservation area.

- 6.9 The proposed materials include a frameless glass balustrade along the low-pitched roof edge to the south of the site to provide an appropriate safely railing height yet set back sufficiently to be invisible from pavement level, this is evident in figure 16 below.



Figure 16 above: Photo taken from the corner of Randolph Cres and Great Stuart Street.

- 6.10 The use of glass as a key material for this proposal creates a sense of permeability and not being a solid structure. As such, it is considered the townscape impact will be minimal and insignificant. Figure 17 below identifies as impact from Stockbridge looking towards the Site. It is evident that the proposal will not be visual from afar.



Figure 17: Picture taken from Dean Terrace, Stockbridge looking towards the site.

- 6.11 In terms of scale, the proposal is thought to be extremely modest in its approach. There is an existing poor quality, lantern rooflight structure which is proposed to be replaced with a low profile, walk-on flat rooflight over the existing bathroom, reducing the scale of development that is already present. The proposal also includes the provision of vertical rain screen cladding which allows any loose furniture to be put away and secured with ease, leaving the terrace free of any potentially visible structures when not in use.
- 6.12 As it is deemed the visual impact will be marginal from both afar and near, the scale and materials used would not adversely impact the special architectural and historic interest of the listed building nor the character and appearance of the conservation area.

Ground 3: There are no other material considerations which warrant refusal of the application.

- 6.13 It is noted Historic Environment Scotland made no objection to the proposals during the consultation periods of both (LPA ref: 20/02744/FUL and 20/02745/LBC). The comments received confirmed the photographic evidence provided does suggest the original roof structure to the front has been replaced or altered, with the height of the ridge reduced. Historic Scotland therefore have no concerns with the further alteration of the roof now proposed, which they anticipate will be visually concealed.
- 6.14 Concern was raised with regards to the visual impact the glass balustrade may have on distant views. As the proposed balustrade is set-back and due to the topography and vegetation of the surrounding area, figures 13 and 16 above indicates the proposal will not be visible from distant views.
- 6.15 There were no further consultations received relating to this proposal.
- 6.16 There were two letters of support of neighbouring residents highlighting the minimal impact this proposal will have on the character of the area, as property owners within this area seek to maintain and enhance the significant heritage assets in which they are fortunate enough to be residents in.
- 6.17 In terms of compliance with planning policy, Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states - special attention shall be paid to the desirability of preserving or enhancing the character or appearance of the conservation area. The proposal will facilitate the essential maintenance of the roof to prevent further water damage to the Category A heritage asset which is deemed very much in line with policy. In addition to preserving the listed building, it is considered the sensitive design and set-back nature of the proposals would have no significant impact on the character or appearance of the conservation area.
- 6.18 The Historic Environment Policy for Scotland (HEPS) outlines the three key areas which define how the historic environment should be understood, recognised and managed to support participation and positive outcomes, including "Managing Change" under policies HEP2, HEP3 and HEP4. The proposal has recognised the significance of the historic nature of the Category A

Listed Building and its setting within the New Town Conservations Area through the sensitive used of design and materials, ensuring there is less than significant harm on historic environment in which the site lies.

- 6.19 HES Managing Change Guidance: Roofs states that “the interest of a historic roof is derived from a number of factors including its shape or form, structure, covering materials, and associated features. The roof can play an important part in the architectural design of a historic building. In terms of alterations, it states that new work should normally match the original as closely as possible. The alteration of a roof can create additional space to allow the building as a whole to remain in use and develop with the needs of the occupants. In considering how to alter a roof it is important to understand the impact of the works on the roof itself and the appearance of the building or street as a whole. The potential for cumulative effects of similar developments should also be considered”. The proposal can be seen from very minimal public receptor points as identified above, nor will it overlook or be overlooked by neighbouring properties resulting no adverse amenity impacts or visual impacts from surrounding properties or streets.
- 6.20 Policy Env 4 in the Edinburgh Local Plan (LDP) states that proposals to alter a listed building will be permitted where those alterations are justified; will not result unnecessary damage to historic structures or result in a diminution of the buildings interest; and any additions would be in keeping with other parts of the building. As previously outlined, it is thought the proposals are in keeping with other parts of the dwelling as there have been many alterations to the roofscape since the original formation. The proposal will provide valuable outdoor amenity space in a city centre location which will be hugely beneficial for the health and wellbeing of the residents. This is also supported by Policy Env 6 of the Local Development Plan which seeks developments within a conservation area which preserves or enhances the special character or appearance of the conservation area and is consistent with the relevant conservation area character appraisal.

7. Conclusions

- 7.1 The submitted Appeals, supported by this Statement, seeks the Council's decision to refuse Planning Permission for "alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area" to be overturned and consent be granted for the proposal, and likewise, the decision to refuse Listed Building Consent for "alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area" to be overturned and consent be granted for the proposal.
- 7.2 The proposal is solely for the enjoyment of the residential dwelling, providing necessary outdoor amenity space whilst having no detrimental impact upon neighbouring residential properties nor the setting of the Listed Building and Conservation Area.
- 7.3 Overall, the proposal complies with the adopted policy of the City of Edinburgh Council Local Development Plan and therefore the Reporter is respectfully requested to allow the appeal.

Appendix 1: Core Document

Core Doc 1: 20/02744/FUL Decision Notice and Officers Report

Core Doc 2: 20/02745/LBC Decision Notice and Officers Report

Core Doc 3: Existing Plans

Core Doc 4: Proposed Plans

Core Doc 5: Additional Plan: Viewpoints

Core Doc 6: Additional Plan: Roof plan

Richard Murphy Architects.
Fao James Mason.
The Breakfast Mission
15 Old Fishmarket Close
Edinburgh
EH1 1RW

Dr Gundula Thiel.
10 Randolph Crescent
Edinburgh
EH3 7TT

Decision date: 21 October 2020

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Alter existing roof access and provide permanent stair to new opening roof light.
Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter
inward facing pitched roof faces to give enlarged, accessible flat roof area
At 2F 10 Randolph Crescent Edinburgh EH3 7TT

Application No: 20/02744/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 24 August 2020, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.


Drawings 01-03, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The proposal does not comply with the Local Development plan or relevant associated guidance. The proposal is inappropriate in terms of scale and materials and would adversely impact the special architectural and historic interest of the listed building as well as the character and appearance of the conservation area. There are no material considerations which outweigh this decision.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Murray Couston directly at murray.couston@edinburgh.gov.uk.



Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

Application for Planning Permission 20/02744/FUL

At 2F, 10 Randolph Crescent, Edinburgh

Alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area

Item	Local Delegated Decision
Application number	20/02744/FUL
Wards	B11 - City Centre

Summary

The proposal does not comply with the Local Development plan or relevant associated guidance. The proposal is inappropriate in terms of scale and materials and would adversely impact the special architectural and historic interest of the listed building as well as the character and appearance of the conservation area. There are no material considerations which outweigh this decision.

Links

<u>Policies and guidance for this application</u>	LEN04, LEN06, NSLBCA, LDES12,
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Report of handling

Recommendations

1.1 It is recommended that this application be Refused for the reasons below.

Background

2.1 Site description

A listed, occupying the top two floors of a James Gillespie Graham, designed 1822, 3-storey with attic and basement. Listing date: 14/12/1970; listing reference: LB29601. Within the World Heritage Site.

This application site is located within the New Town Conservation Area.

2.2 Site History

16.09.2020 - Listed building consent refused for: Alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area (20/02745/LBC).

Main report

3.1 Description Of The Proposal

Planning permission is sought to alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area.

3.2 Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Section 59 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states that in considering whether to grant planning permission for development which affects a listed building or its setting, a planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states - special attention shall be paid to the desirability of preserving or enhancing the character or appearance of the conservation area.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

3.3 Assessment

To address these determining issues, it needs to be considered whether:

- a) the proposal is acceptable in principle;
- b) the proposals will impact on the character of the listed building;
- c) the proposal will preserve or enhance the character and appearance of the conservation area; and
- d) public comments have been addressed.

a) The proposal is to add a roof terrace to an A listed building. There are no similar developments in the surrounding area and the proposal would lead to an uncharacteristic and incongruous addition to the property. The proposal is not acceptable in principle.

b) The Historic Environment Policy for Scotland (HEPS) outlines how the Council should undertake the collective duty of care whenever a decision in the planning system will affect the historic environment. There are three key areas which define how the historic environment should be understood, recognised and managed to support participation and positive outcomes, including "Managing Change" under policies HEP2, HEP3 and HEP4.

HES *Managing Change in the Historic Environment guidance on Roofs* offers guidance on assessing proposals.

Policy Env 4 in the Edinburgh Local Plan (LDP) states that proposals to alter a listed building will be permitted where those alterations are justified; will not result unnecessary damage to historic structures or result in a diminution of the buildings interest; and any additions would be in keeping with other parts of the building.

The Council's non-statutory Guidance for Listed Buildings and Conservation Areas sets out additional guidance.

HES Managing Change Guidance: Roofs states that *the interest of a historic roof is derived from a number of factors including its shape or form, structure, covering materials, and associated features. The roof can play an important part in the architectural design of a historic building. In terms of alterations, it states that new work should normally match the original as closely as possible. The alteration of a roof can create additional space to allow the building as a whole to remain in use and develop with the needs of the occupants. In considering how to alter a roof it is important to*

understand the impact of the works on the roof itself and the appearance of the building or street as a whole. The potential for cumulative effects of similar developments should also be considered

The proposed roof terrace would be a discordant feature creating a level of intervention to the roof area that is not characteristic of the building and surrounding similar buildings in this largely uniform terrace. The extent of the changes to the roofscape of the building and its functionality would fundamentally change the character of the roof and an important part of the building's special interest. The proposals are not required for the beneficial use of the building, are not justified and would result in a diminution of its interest.

The proposals are contrary to the policy guidance published by Historic Environment Scotland and the Council's non-statutory guidance.

c) Planning Advice Note 71 on Conservation Area Management recognises conservation areas need to adapt and develop in response to the modern-day needs and aspirations of living and working communities. Policy Env 6 of the Local Development Plan permits development within a conservation area which preserves or enhances the special character or appearance of the conservation area and is consistent with the relevant conservation area character appraisal.

In terms of the roof terrace, this is a discordant intervention which is not characteristic of these buildings. In terms of the appearance of the conservation area, the glass barrier will be evident in both long and short views and its reflective qualities will be apparent and be disruptive to the uniformity of the terrace. In addition, roof terraces are not traditional features of the New Town Conservation Area and whilst the roof terrace will not be visible from the street, the roofscape of these New Town buildings will be severely altered. Aerial views of the New Town are particularly important and radical interventions to traditional roofscapes such as this are unnecessary and unacceptable interventions. The proposals fail to either preserve or enhance the character and appearance of the conservation area.

d) One letter of objection has been received. Comments raised have been addressed in sections b) and c).

Conclusion

The proposal does not comply with the Local Development plan or relevant associated guidance. The proposal is inappropriate in terms of scale and materials and would adversely impact the special architectural and historic interest of the listed building as well as the character and appearance of the conservation area. There are no material considerations which outweigh this decision.

It is recommended that this application be Refused for the reasons below.

3.4 Conditions/reasons/informatives

Reasons:-

1. The proposals do not have special regard to the desirability of preserving the building or its setting and would diminish the historic interests of the building and are not justified.
2. The proposals would result in an alteration that would not preserve the character and appearance of the conservation area.

Risk, Policy, compliance and governance impact

4.1 Provided planning applications are determined in accordance with statutory legislation, the level of risk is low.

Equalities impact

5.1 The equalities impact has been assessed as follows:

The application has been assessed and has no impact in terms of equalities or human rights.

Consultation and engagement

6.1 Pre-Application Process

There is no pre-application process history.

6.2 Publicity summary of representations and Community Council comments

One letter of representation has been received.

Background reading / external references

- To view details of the application go to
- [Planning and Building Standards online services](#)

Statutory Development

Plan Provision

The site is within the Urban Area, World Heritage Site and New Town Conservation Area.

Date registered

24 August 2020

Drawing numbers/Scheme

01-03,

David R. Leslie
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Murray Couston, Planning Officer
E-mail: murray.couston@edinburgh.gov.uk

Links - Policies

Relevant Policies:

LDP Policy Env 4 (Listed Buildings - Alterations and Extensions) identifies the circumstances in which alterations and extensions to listed buildings will be permitted.

LDP Policy Env 6 (Conservation Areas - Development) sets out criteria for assessing development in a conservation area.

Non-statutory guidelines 'LISTED BUILDINGS AND CONSERVATION AREAS' provides guidance on repairing, altering or extending listed buildings and unlisted buildings in conservation areas.

LDP Policy Des 12 (Alterations and Extensions) sets criteria for assessing alterations and extensions to existing buildings.

Appendix 1

Consultations

Historic Environment Scotland

10 Randolph Crescent forms part of a category A listed Georgian terrace designed by James Gillespie Graham in 1822. The application proposes to create an external roof terrace area by altering the existing roof structure and roof access.

The photographic evidence provided does suggest the original roof structure to the front has been replaced or altered, with the height of the ridge reduced. We therefore have no concerns with the further alteration of the roof now proposed, which we anticipate will be visually concealed.

The addition of a glass balustrade has the potential to be more impactful. This would be a non-traditional addition to the former townhouse that, if visible, would impact upon its appearance and character. We wouldn't expect any impact in close-up views of the building. However, No. 10 Randolph Crescent can be seen in some distant views. We would recommend that potential visual impacts are explored in more detail. If it is likely that the balustrade would be visible, we would recommend its location on the roof is re-considered to reduce its impact. The balustrade, as currently proposed, looks like it would be positioned on, or near, the ridge of the roof - if it was located further back would this reduce visual impact. A partial, instead of a full width balustrade, if appropriate, could help reduce its impact still further. We would also recommend metal would be a better choice of material for any balustrade.

Planning authorities are expected to treat our comments as a material consideration, and this advice should be taken into account in your decision making. Our view is that the proposals do not raise historic environment issues of national significance and therefore we do not object. However, our decision not to object should not be taken as our support for the proposals. This application should be determined in accordance with national and local policy on development affecting the historic environment, together with related policy guidance.

END

Richard Murphy Architects.
Fao James Mason.
The Breakfast Mission
15 Old Fishmarket Close
Edinburgh
EH1 1RW

Dr Gundula Thiel.
10 Randolph Crescent
Edinburgh
EH3 7TT

**Decision date: 16 September
2020**

TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) (SCOTLAND) ACT
1997

Alter existing roof access and provide permanent stair to new opening roof light.
Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter
inward facing pitched roof faces to give enlarged, accessible flat roof area
At 2F 10 Randolph Crescent Edinburgh EH3 7TT

Application No: 20/02745/LBC

DECISION NOTICE

With reference to your application for Listed Building Consent registered on 7 July 2020, this has been decided by **Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Reasons:-

1. The proposed works fail to preserve the listed building and its setting and have an adverse impact on the character and appearance of the conservation area.
2. The proposals fail to preserve or enhance the character and appearance of the conservation area which is particularly important in terms of its roofscapes, as the

introduction of the glass barriers and a roof terrace are incongruous interventions which affect the uniformity of New Town buildings.

Informatives

It should be noted that:

1. The works hereby permitted shall be commenced no later than the expiration of three years from the date of this consent.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

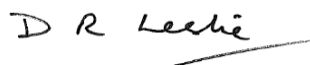
Drawings 01A-03A, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The development does not comply with the Planning (Listed Building and Conservation Areas) Scotland Act 1997 as it fails to preserve the character and setting of the listed building and fails to preserve or enhance the character and appearance of the conservation area.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Murray Couston directly at murray.couston@edinburgh.gov.uk.



Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision of the planning authority to refuse listed building consent or conservation area consent for the proposed works, or to grant such consent subject to conditions, he may, by notice served within 3 months of the receipt of this notice, appeal to the Scottish Ministers (on a form obtainable at <https://eplanning.scotland.gov.uk/WAM/> or addressed to the Planning and Environmental Appeals Division, 4 The Courtyard, Callendar Business Park, FALKIRK FK1 1XR.) in accordance with section 18 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 as amended, as also applied to buildings in conservation areas by section 66 of that Act.
2. If listed building consent or conservation area consent is refused, or granted subject to conditions, whether by the planning authority or Scottish Ministers and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any works which have been or would be permitted, he may serve on the planning authority in whose district the land is situated, a listed building purchase notice requiring that authority to purchase his interest in the land in accordance with the provisions of section 28 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 as amended, as also applied to buildings in conservation areas by section 66 of that Act.

Report of Handling

**Application for Listed Building Consent 20/02745/LBC
At 2F, 10 Randolph Crescent, Edinburgh
Alter existing roof access and provide permanent stair to
new opening roof light. Remove existing lantern over
bathroom and replace with new, flat glass rooflight. Alter
inward facing pitched roof faces to give enlarged, accessible
flat roof area**

Item	Delegated Decision
Application number	20/02745/LBC
Wards	B11 - City Centre

Summary

The development does not comply with the Planning (Listed Building and Conservation Areas) Scotland Act 1997 as it fails to preserve the character and setting of the listed building and fails to preserve or enhance the character and appearance of the conservation area.

Links

<u>Policies and guidance for this application</u>	HES, LEN04, LEN06, NSLBCA,
---	----------------------------

Report of handling

Recommendations

1.1 It is recommended that this application be Refused for the reasons below.

Background

2.1 Site description

A listed, occupying the top two floors of a James Gillespie Graham, designed 1822, 3-storey with attic and basement. Listing date: 14/12/1970; listing reference: LB29601. Within the World Heritage Site.

This application site is located within the New Town Conservation Area.

2.2 Site History

There is no relevant planning history for this site.

Main report

3.1 Description Of The Proposal

Listed building consent is sought to alter the existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area.

3.2 Determining Issues

Section 14 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states - In considering whether to grant consent, special regard must be had to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. For the purposes of this issue, preserve, in relation to the building, means preserve it either in its existing state or subject only to such alterations or extensions as can be carried out without serious detriment to its character.

Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 states - special attention shall be paid to the desirability of preserving or enhancing the character or appearance of the conservation area.

In determining applications for listed building consent, the Development Plan is not a statutory test. However the policies of the Local Development Plan (LDP) inform the assessment of the proposals and are a material consideration.

3.3 Assessment

To address these determining issues, it needs to be considered whether:

- a) The proposals preserve the special interest of the listed building;
- b) The proposals preserve or enhance the character or appearance of the conservation area; and
- c) Any comments have been raised and addressed.

a) Listed Building

The Historic Environment Policy for Scotland (HEPS) outlines how the Council should undertake the collective duty of care whenever a decision in the planning system will affect the historic environment. There are three key areas which define how the historic environment should be understood, recognised and managed to support participation and positive outcomes, including "Managing Change" under policies HEP2, HEP3 and HEP4.

HES *Managing Change in the Historic Environment guidance on Roofs* offers guidance on assessing proposals.

Policy Env 4 in the Edinburgh Local Plan (LDP) states that proposals to alter a listed building will be permitted where those alterations are justified; will not result unnecessary damage to historic structures or result in a diminution of the buildings interest; and any additions would be in keeping with other parts of the building.

The Council's non-statutory Guidance for Listed Buildings and Conservation Areas sets out additional guidance.

HES Managing Change Guidance: Roofs states that *the interest of a historic roof is derived from a number of factors including its shape or form, structure, covering materials, and associated features. The roof can play an important part in the architectural design of a historic building. In terms of alterations, it states that new work should normally match the original as closely as possible. The alteration of a roof can create additional space to allow the building as a whole to remain in use and develop with the needs of the occupants. In considering how to alter a roof it is important to understand the impact of the works on the roof itself and the appearance of the building or street as a whole. The potential for cumulative effects of similar developments should also be considered*

The proposed roof terrace would be a discordant feature, creating a level of intervention to the roof area that is not characteristic of the building and surrounding similar buildings in this largely uniform terrace. The extent of the changes to the roofscape of the building and its functionality would fundamentally change the character of the roof and an important part of the building's special interest. The proposals are not required for the beneficial use of the building, are not justified and would result in a diminution of its interest.

The proposals are contrary to the policy guidance published by Historic Environment Scotland and the Council's non-statutory guidance.

b) Character or Appearance of the Conservation Area

Planning Advice Note 71 on Conservation Area Management recognises conservation areas need to adapt and develop in response to the modern-day needs and aspirations of living and working communities. Policy Env 6 of the Local Development Plan permits development within a conservation area which preserves or enhances the special character or appearance of the conservation area and is consistent with the relevant conservation area character appraisal.

In terms of the appearance of the conservation area, the glass barrier will be evident in both long and short views and its reflective qualities will be apparent and be disruptive to the uniformity of the terrace. In addition, roof terraces are not traditional features of the New Town Conservation Area and whilst the roof terrace will not be visible from the street, the roofscape of these New Town buildings, where visible from more distant views, will be compromised. The proposals fail to either preserve or enhance the character and appearance of the conservation area.

c) Three letters of representation have been received, one objecting to the proposal and two in support. The comments raised have been addressed in section a) and b).

Conclusion

The proposals do not have special regard to the desirability of preserving the building or its setting and adversely affect the special architectural and historic interest of the listed building. In addition, the proposals do not preserve the character and appearance of the conservation area.

It is recommended that this application be Refused for the reasons below.

3.4 Conditions/reasons/informatives

Reasons:-

1. The proposed works fail to preserve the listed building and its setting and have an adverse impact on the character and appearance of the conservation area.
2. The proposals fail to preserve or enhance the character and appearance of the conservation area which is particularly important in terms of its roofscapes, as the introduction of the glass barriers and a roof terrace are incongruous interventions which affect the uniformity of New Town buildings.

Informatives

It should be noted that:

1. The works hereby permitted shall be commenced no later than the expiration of three years from the date of this consent.

Risk, Policy, compliance and governance impact

4.1 Provided planning applications are determined in accordance with statutory legislation, the level of risk is low.

Equalities impact

5.1 The equalities impact has been assessed as follows:

The application has been assessed and has no impact in terms of equalities or human rights.

Consultation and engagement

6.1 Pre-Application Process

There is no pre-application process history.

6.2 Publicity summary of representations and Community Council comments

Three letters of representation have been received.

Background reading / external references

- To view details of the application go to
- [Planning and Building Standards online services](#)

Statutory Development

Plan Provision

The site is within the Urban Area, World Heritage Site and New Town Conservation Area.

Date registered

7 July 2020

Drawing numbers/Scheme

01A-03A,

David R. Leslie
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Murray Couston, Planning Officer
E-mail: murray.couston@edinburgh.gov.uk

Links - Policies

Relevant Policies:

Relevant Government Guidance on Historic Environment.

LDP Policy Env 4 (Listed Buildings - Alterations and Extensions) identifies the circumstances in which alterations and extensions to listed buildings will be permitted.

LDP Policy Env 6 (Conservation Areas - Development) sets out criteria for assessing development in a conservation area.

Non-statutory guidelines 'LISTED BUILDINGS AND CONSERVATION AREAS' provides guidance on repairing, altering or extending listed buildings and unlisted buildings in conservation areas.

Appendix 1

Consultations

Historic Environment Scotland

10 Randolph Crescent forms part of a category A listed Georgian terrace designed by James Gillespie Graham in 1822. The application proposes to create an external roof terrace area by altering the existing roof structure and roof access.

The photographic evidence provided does suggest the original roof structure to the front has been replaced or altered, with the height of the ridge reduced. We therefore have no concerns with the further alteration of the roof now proposed, which we anticipate will be visually concealed.

The addition of a glass balustrade has the potential to be more impactful. This would be a non-traditional addition to the former townhouse that, if visible, would impact upon its appearance and character. We wouldn't expect any impact in close-up views of the building. However, No. 10 Randolph Crescent can be seen in some distant views. We would recommend that potential visual impacts are explored in more detail. If it is likely that the balustrade would be visible, we would recommend its location on the roof is reconsidered

to reduce its impact. The balustrade, as currently proposed, looks like it would be positioned on, or near, the ridge of the roof - if it is located further back this would reduce its visual impact. A partial, instead of a full width balustrade, if appropriate, could help reduce its impact still further. We would also recommend metal would be a better choice of material for any balustrade.

Planning authorities are expected to treat our comments as a material consideration, and

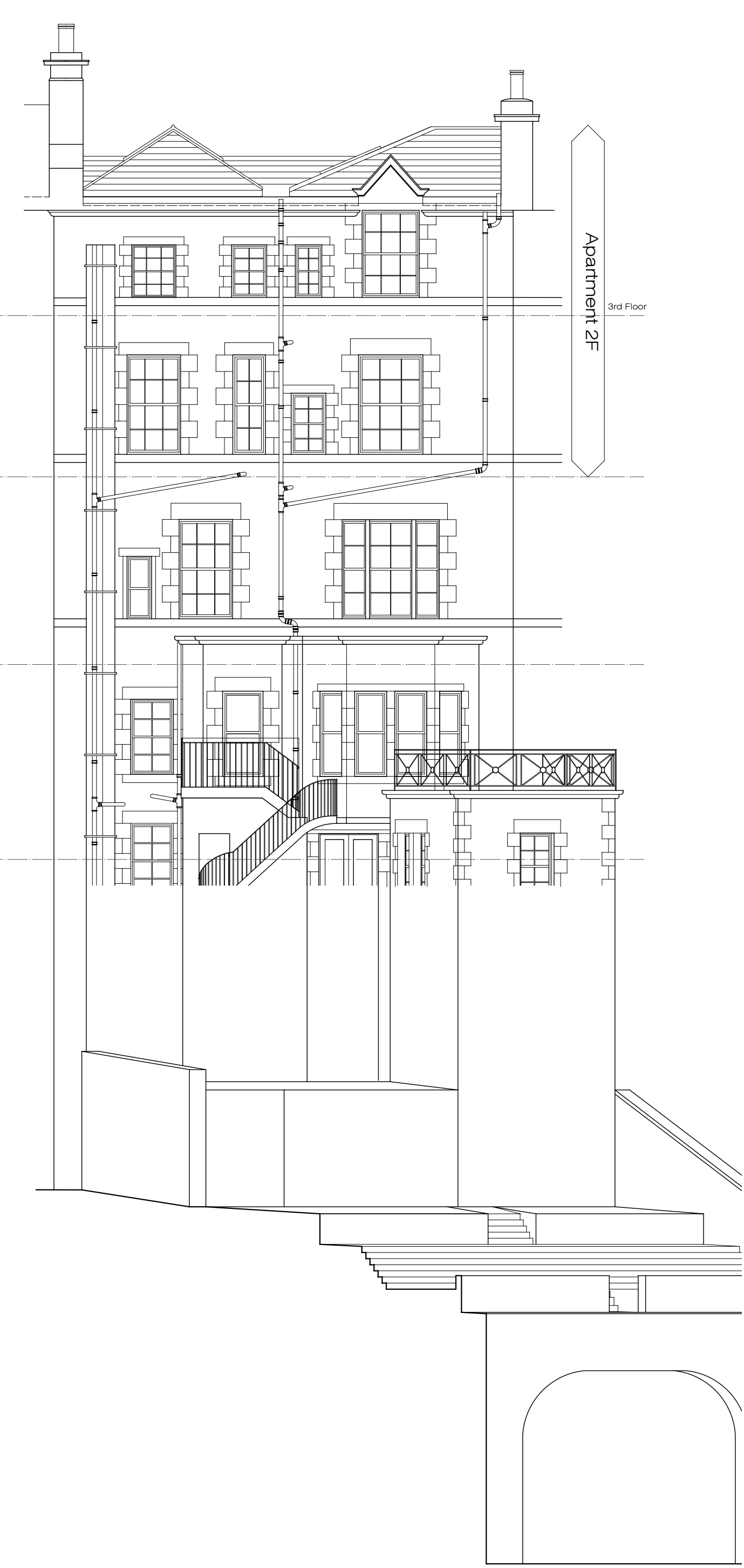
this advice should be taken into account in your decision making. Our view is that the proposals do not raise historic environment issues of national significance and therefore

we do not object. However, our decision not to object should not be taken as our support

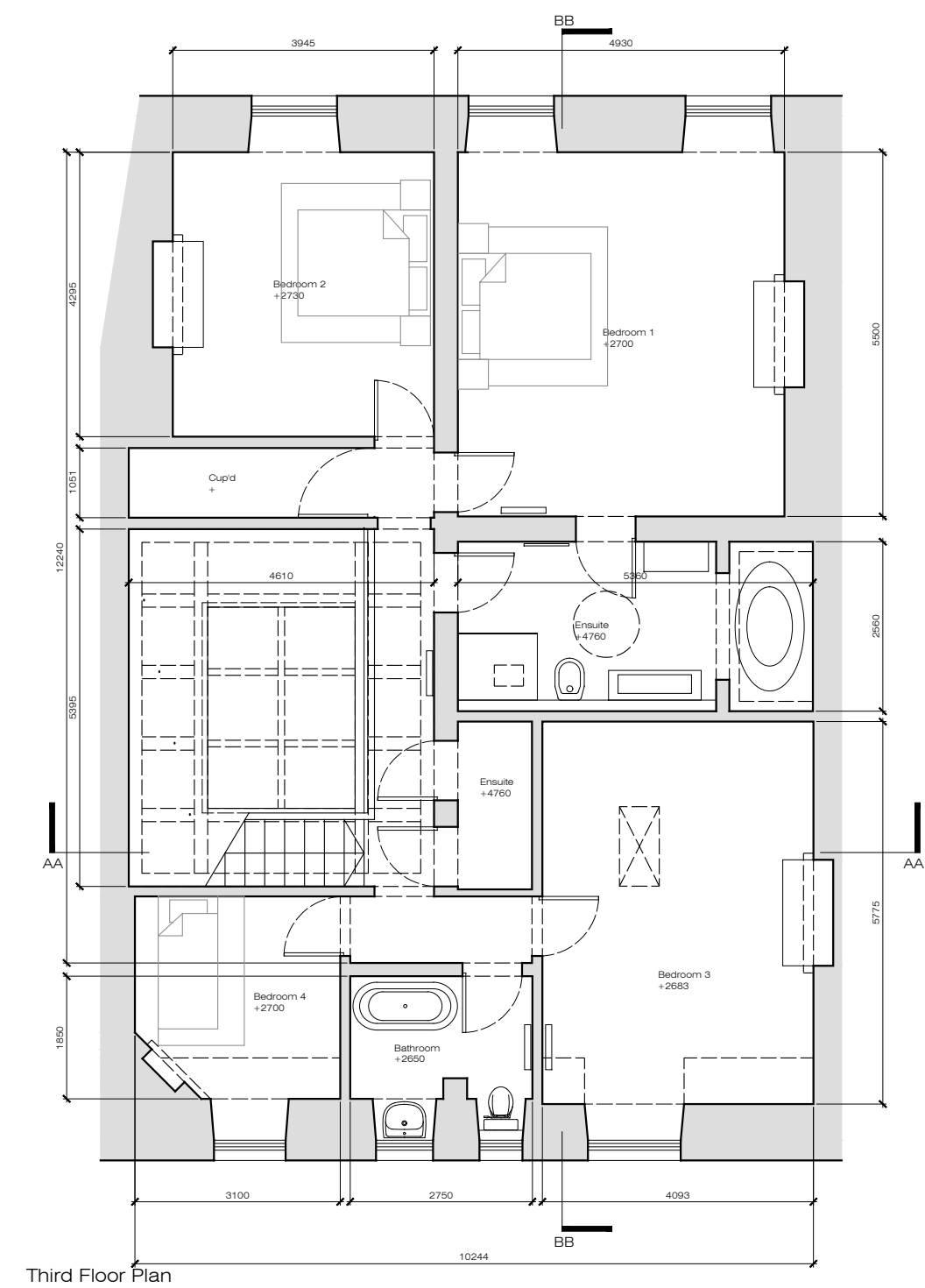
for the proposals. This application should be determined in accordance with national and

local policy on listed building/conservation area consent, together with related policy guidance.

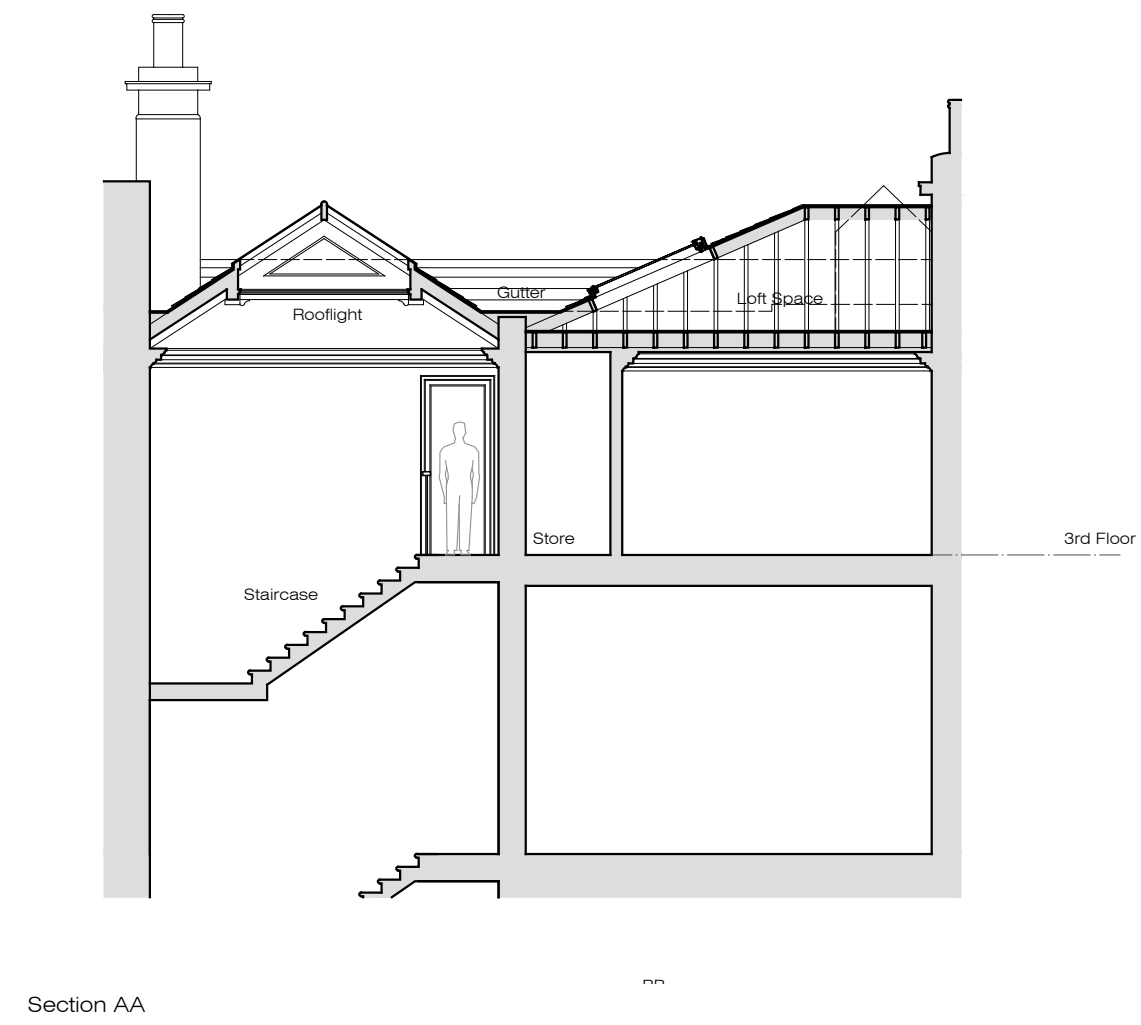
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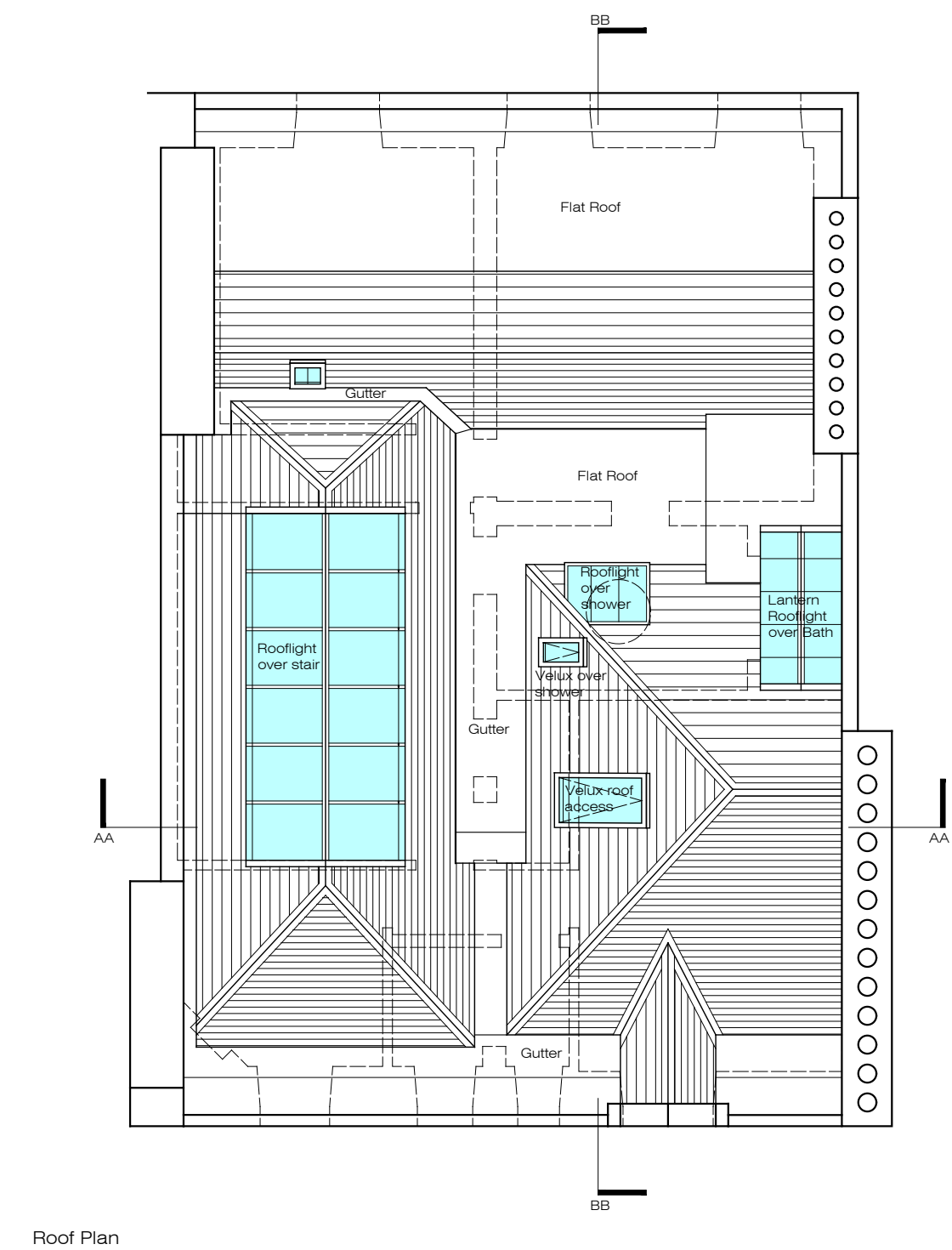
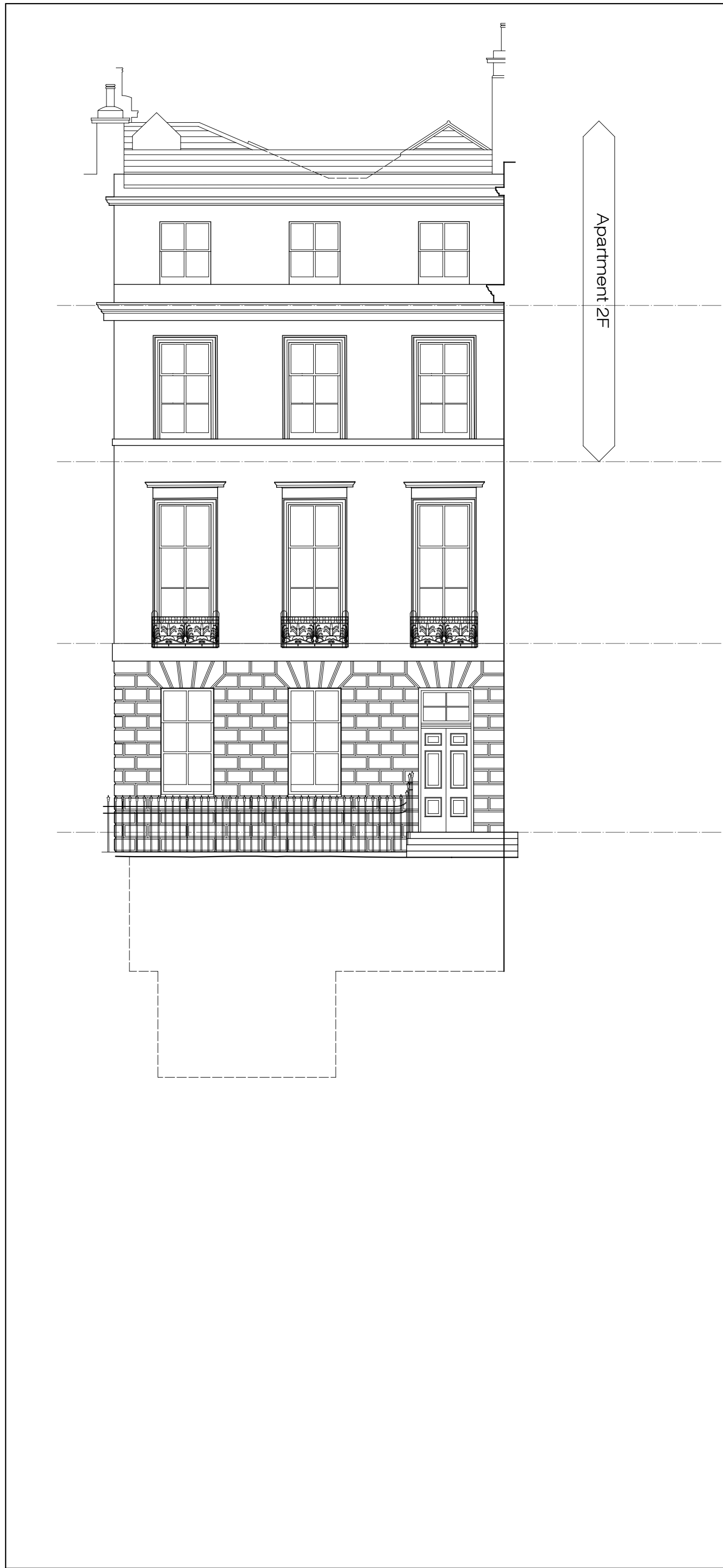
Garden (North) Elevation



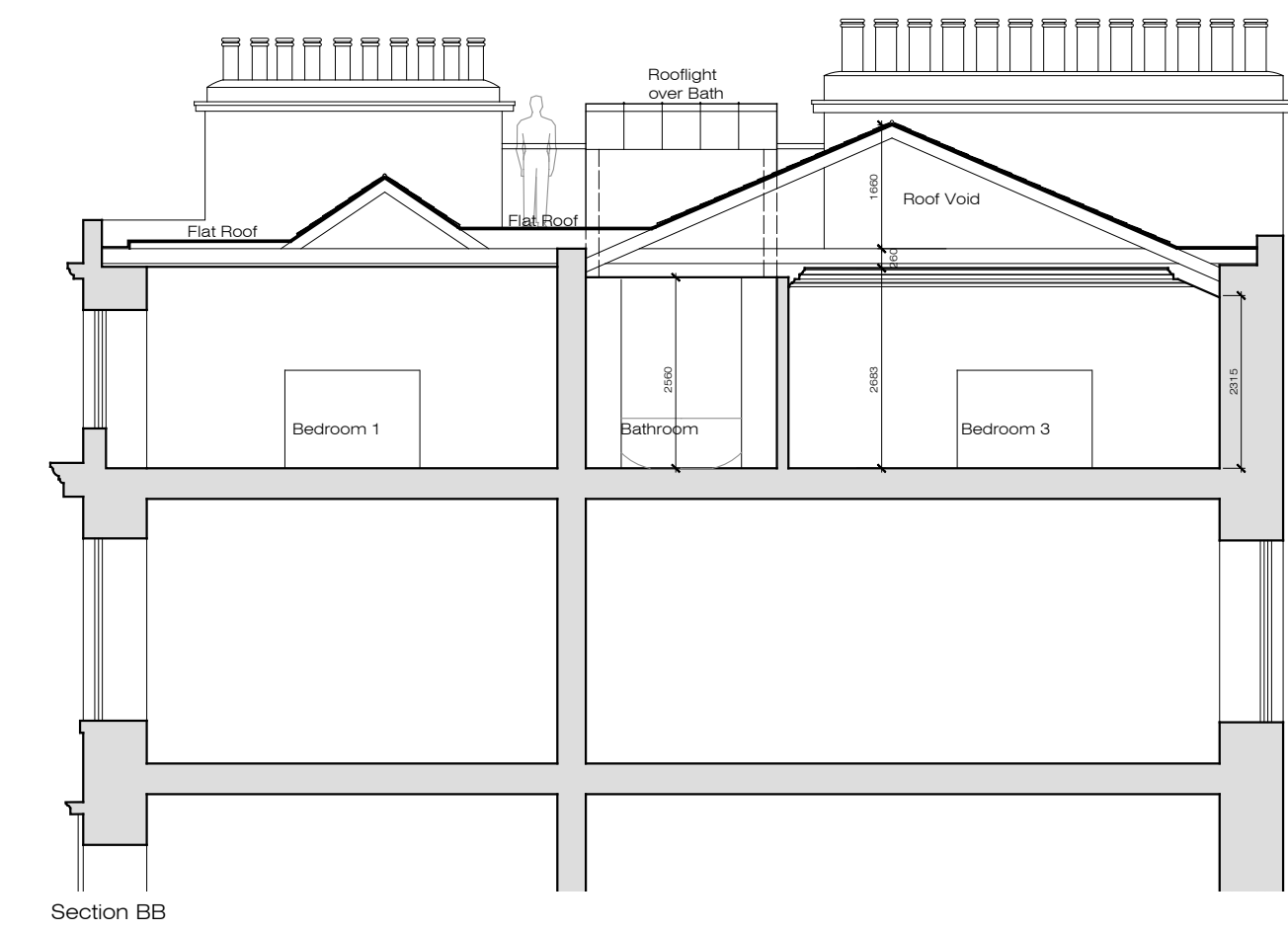
Third Floor Plan



Section AA



Roof Plan



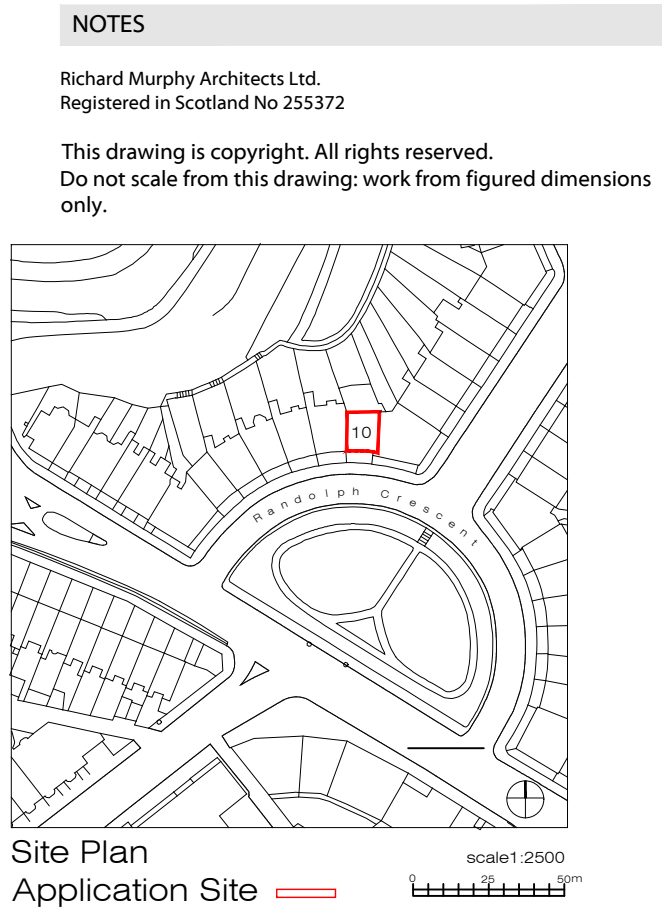
Section BB



Street Elevation

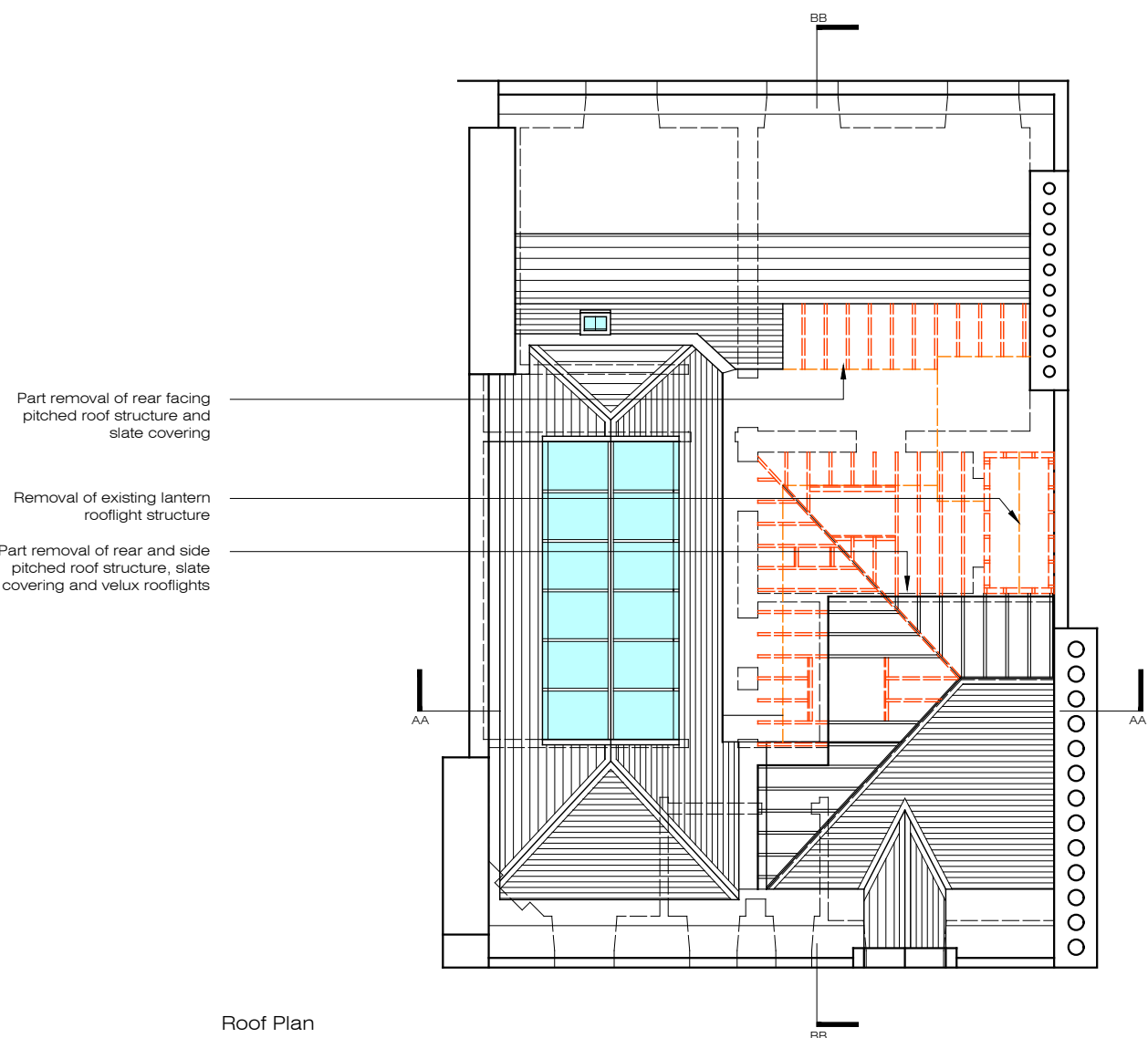


Aerial roofscape

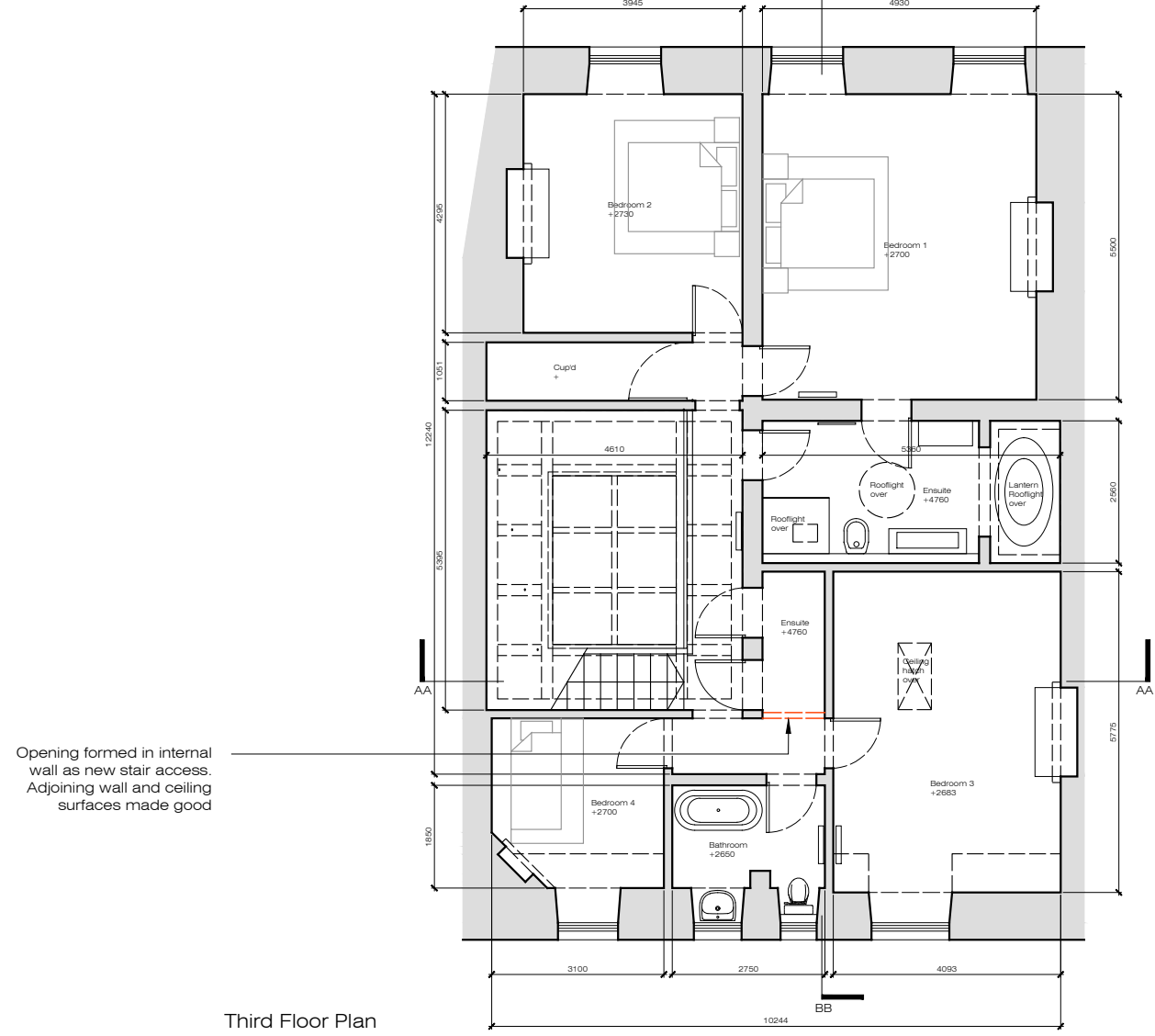


Site Plan

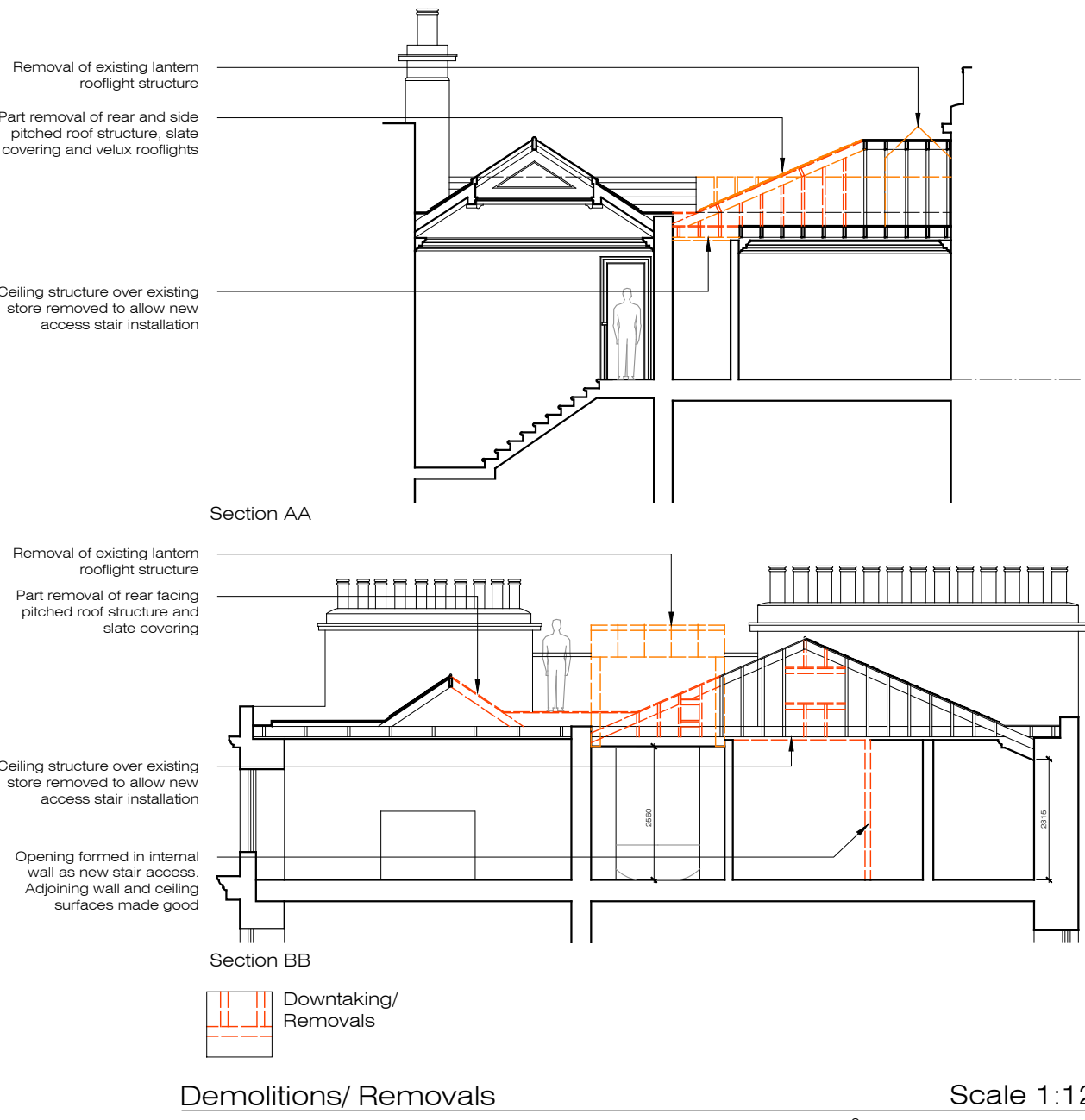
Application Site



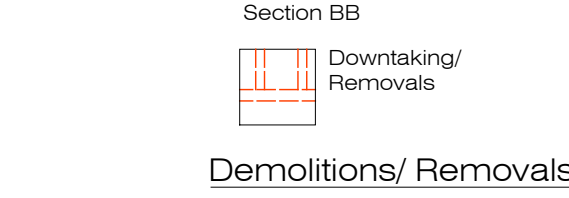
Roof Plan



Third Floor Plan



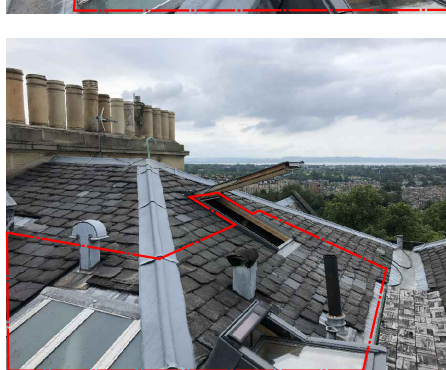
Section AA



Section BB

Demolitions/ Removals

Scale 1:125



Existing roofscape showing proposed removals

A Planning Issue

01.07.2020

The Breakfast Mission, 15 Old Fishmarket Close, Edinburgh EH1 1RW
t: 0131 220 6125 mail@richardmurphyarchitects.com
f: 0131 220 6781 www.richardmurphyarchitects.com

Richard Murphy Architects

PROJECT TITLE Flat 2F, 10 Randolph Crescent
Proposed Roof Level Extension

DRAWING TITLE Existing
Demolitions & Removals
Plans, Sections & Elevations

DWG STATUS Planning

DRAWN jem

CHECKED

FILE

JOB NO. 595

DATE 30.10.19

SCALE 1:100 & 125

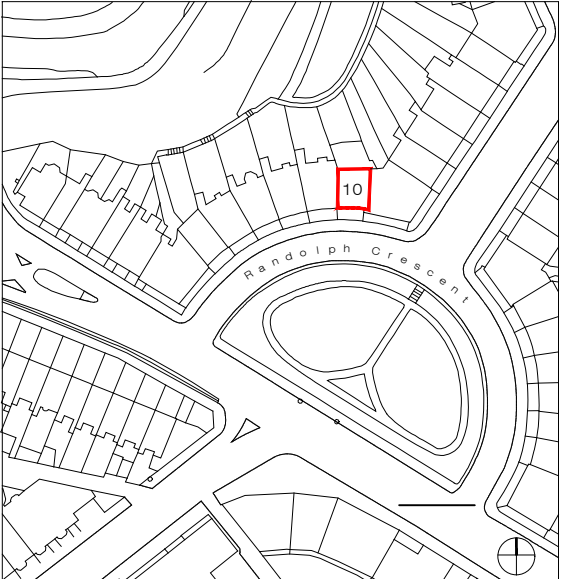
DRAWING NO. AL/01/01

REVISION A

NOTES

Richard Murphy Architects Ltd.
Registered in Scotland No 255372
Firm's 11 year set back sufficiently to be invisible from pavement

This drawing is copyright. All rights reserved.
Do not scale from this drawing: work from figured dimensions only.



Site Plan
Application Site



Walk-On Rooflight



Sky Door Rooflight



Sky Door Rooflight

Supporting Statement

Existing Building

10 Randolph Crescent forms part of a formal linked terrace of buildings designed by James Gillespie Graham in 1822, located in the Edinburgh New Town Conservation Area and World Heritage Zone and connecting the west end of Queens Street with Queensferry Street. The property is Grade A listed along with no 9-17 Randolph Crescent (inclusive) and 1 and 1A Randolph Cliff (including railings) under reference LB29601.

The property at no. 10 has been divided from its original townhouse form and now contains a number of private dwellings. The main door off Randolph Crescent provides access to a ground and basement apartment (10) with the former main stair leading a first floor apartment (10 1F) and access to the two storey application property (10 2F) above. Separate access to the rear leads to a two storey garden level apartment. Recent Planning application ref 18.01668_FUL, seeking to combine the two lower apartments (10 GF & 10Bf) was granted. 10B occupies the front half of the basement and is separately accessed from the lightwell off the street.

Existing Roof

Access to the roof is entirely from within the application property 10 2F via an opening rooflight.

Roof configuration to the crescent properties appears to vary, dependant on geometry and plan below.

Evidence of historic modification to the original roof profile can be seen on adjoining chimney stacks (as noted on the photo below). These modifications have resulted in a combination of low and high pitched slated roofs, stone monepitch and lantern rooflights and stepped lead valley gutters.



Poor detailing of existing lantern rooflight to parapet aboutment with minimal weathering upstand and gutter.

Reasons for Development

The proposals is submitted in resolution of two principal issues.

Access - Current roof access is by way of retractable loft ladder within the study/bedroom on the third floor up into the low roof void on the north side and subsequent out via an opening roof light onto the central valley gutter. Access is thus difficult and constrained.

The proposal seeks to provide permanent stair access out to a larger flat roof area via a proprietary glazed, low profile, rooflight (sky door) located in a former store accessed via a new opening off the hallway.

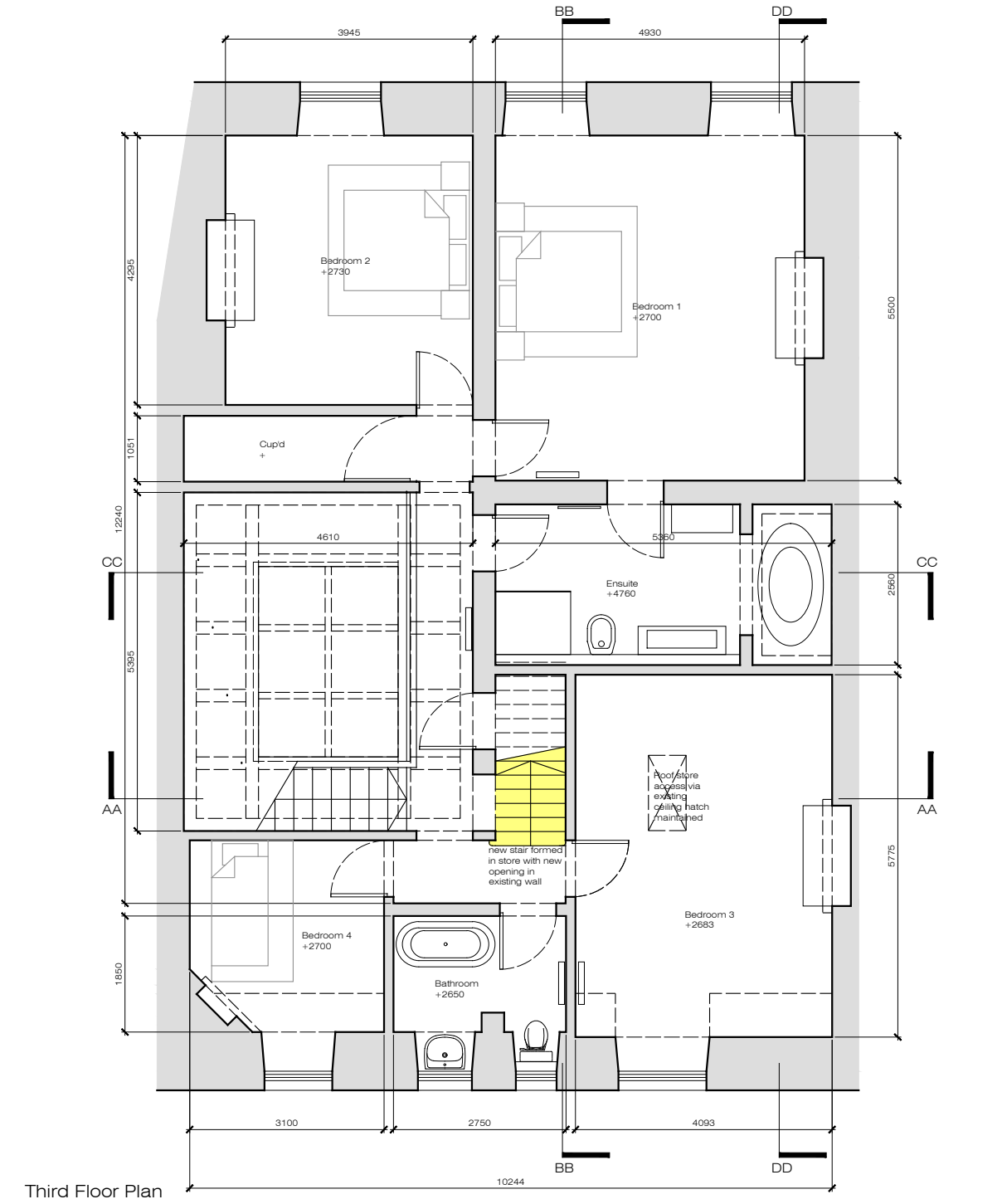
Outdoor Space - Since the division of the property, the upper apartment has no access to outdoor space. The proposal thus seeks to provide, in as inconspicuous a way as possible, private outdoor space for the apartments use. It is clear from the recent lock-down and social isolation period that access to non-public, external space is a vital constituent of both physical and mental health and well being. The proposal aims to provide useable external space via the part removal of internal, valley facing sections of slate roofing and the incorporation of new flat roof construction and decking areas. Additionally, an existing poor quality, lantern rooflight structure is proposed to be replaced with a low profile, walk-on flat rooflight over the existing bathroom. Access into the remaining roof void area via hinged doors in the new vertical rain screen cladding allows any loose furniture to be put away and secured with ease, leaving the terrace free of any potentially visible structures when not in use. Finally a minimal, frameless glass balustrade is proposed along the remaining low



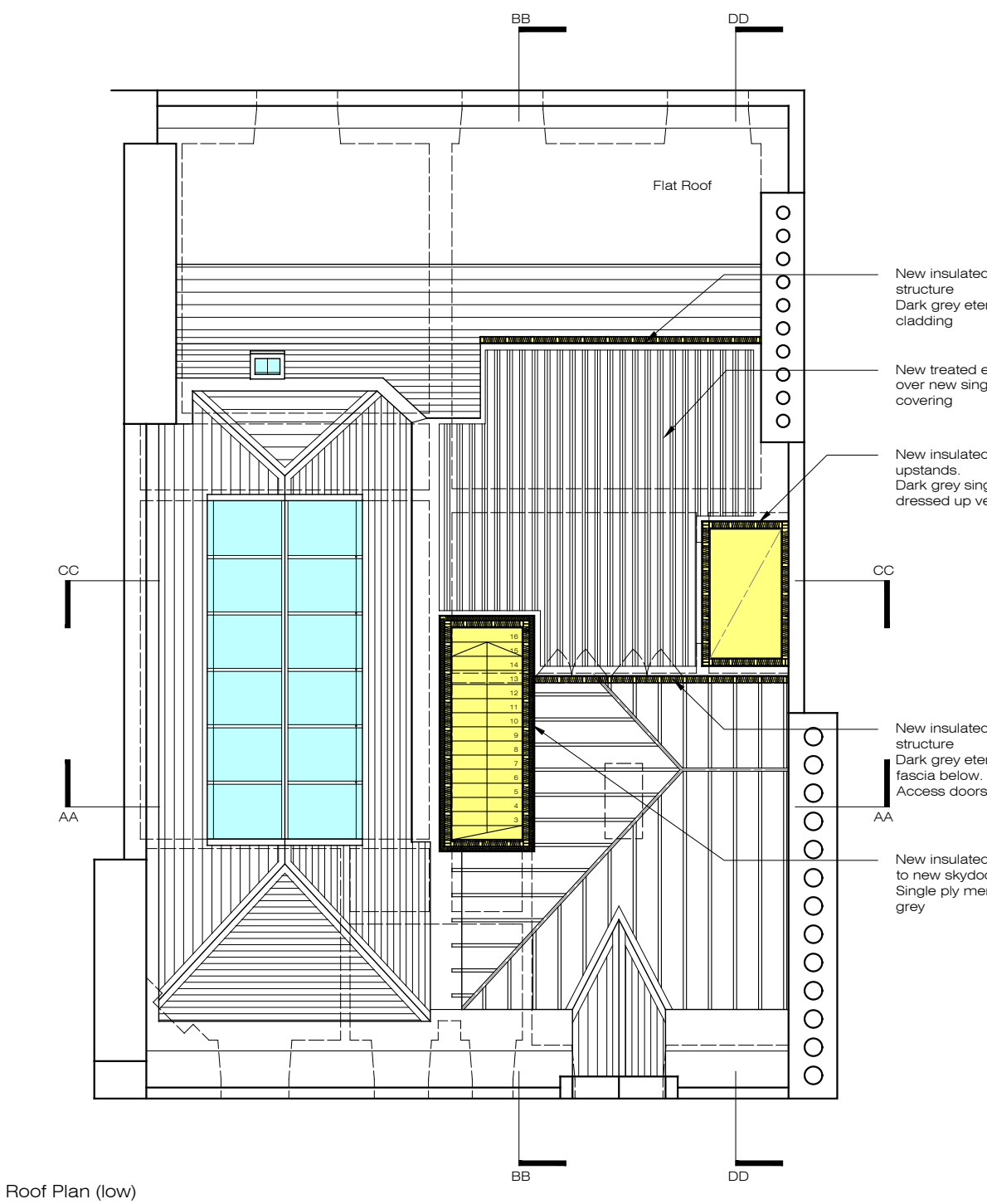
Garden (North) Elevation



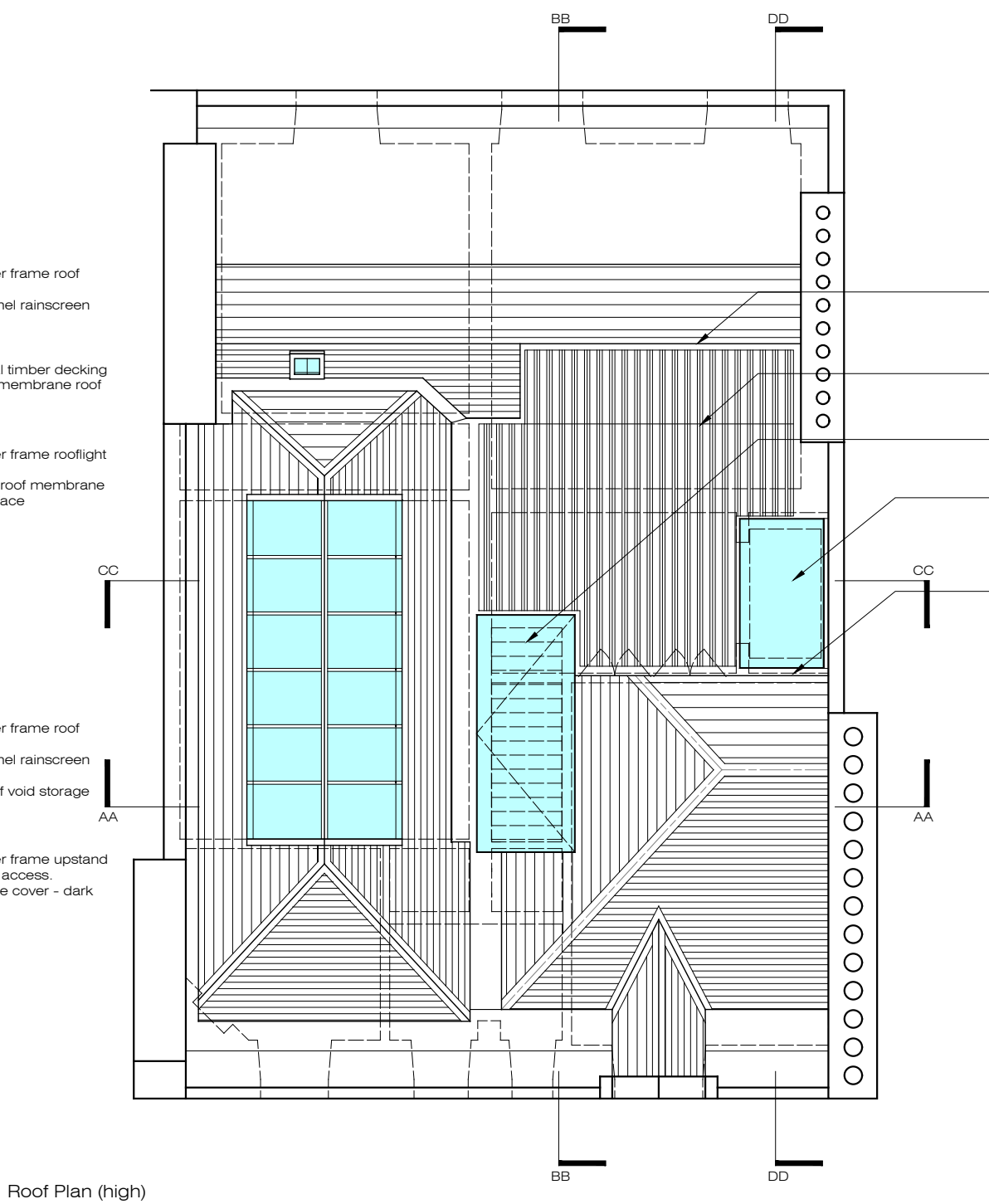
Street (South) Elevation



Third Floor Plan



Roof Plan (low)

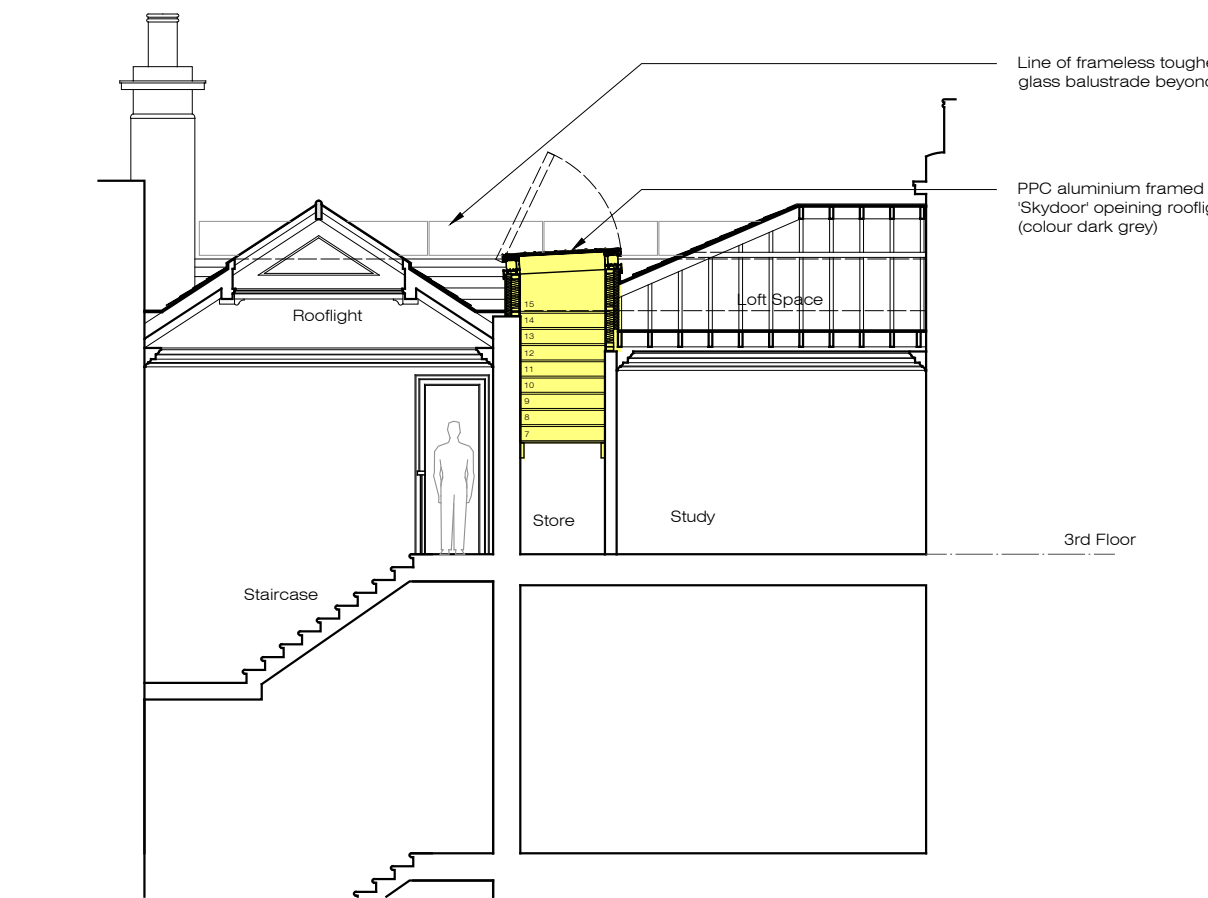


Roof Plan (high)

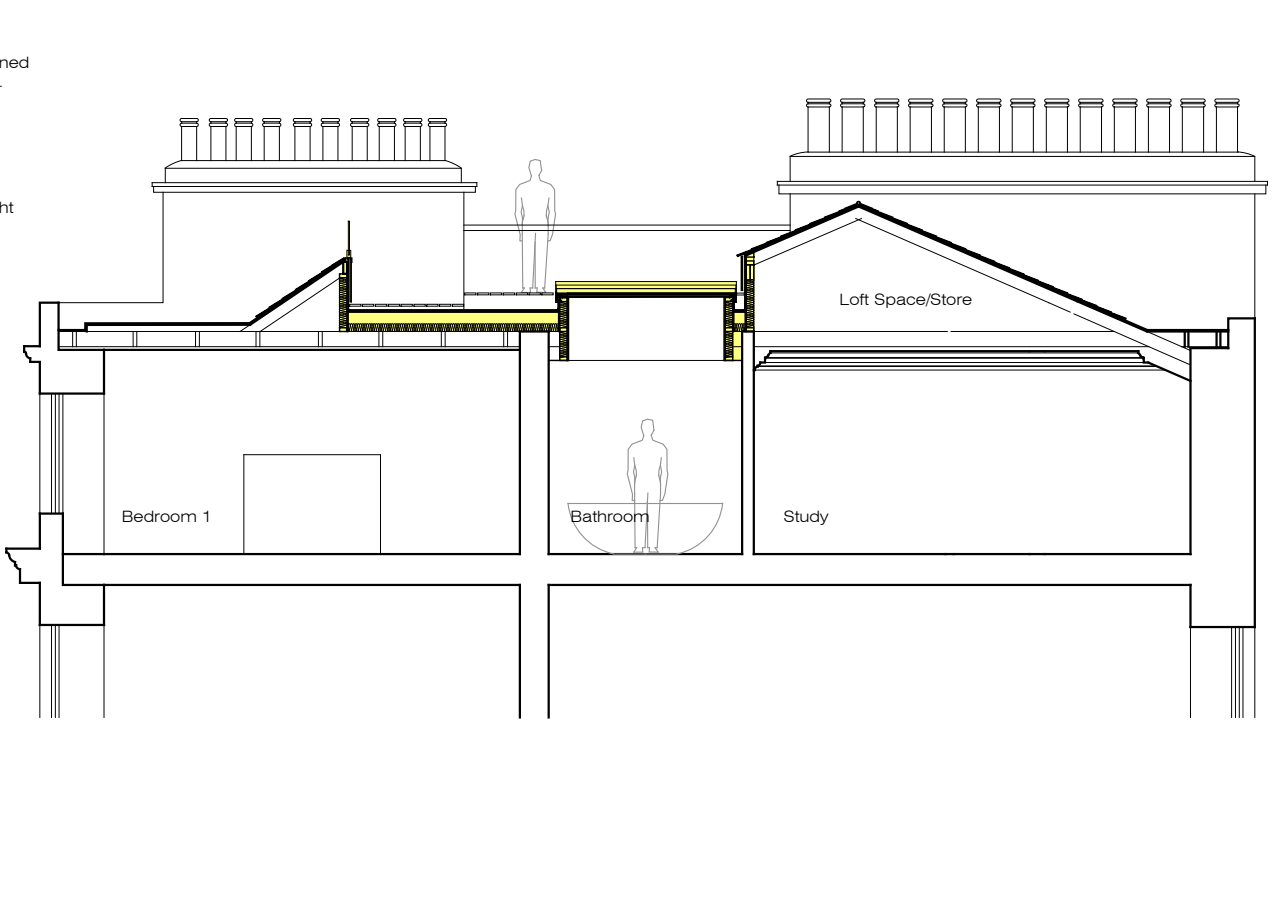


Line of frameless toughened glass balustrade
New vertical dark grey etemit board fascia below
Step in new external timber decking
New dark grey single ply roof membrane below
PRC aluminium framed Skydoor opening rooflight (colour dark grey)
PRC aluminium framed Walk-on rooflight (colour dark grey)

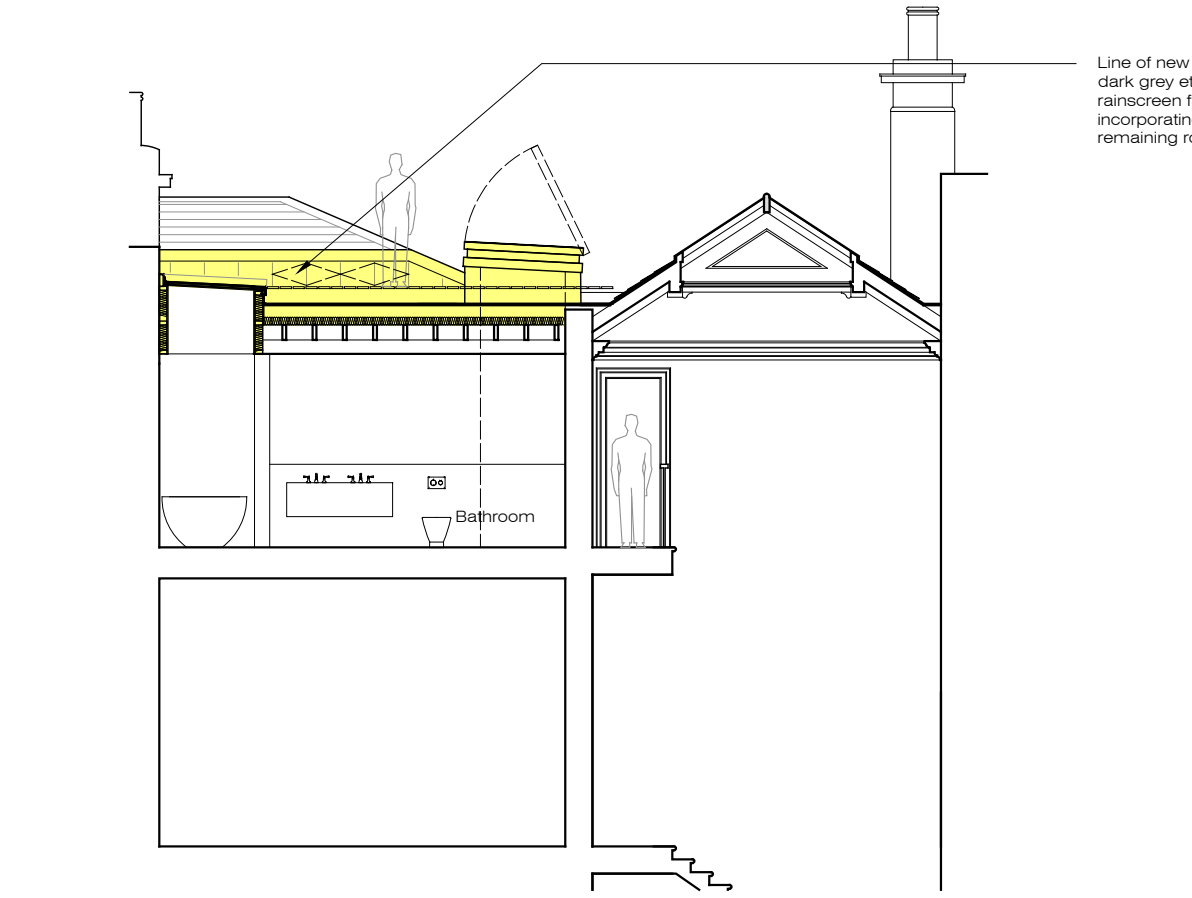
Line of new external roof eaves with code 5 lead eaves flashing
New vertical dark grey etemit board fascia below with hinged door access to roof void storage space



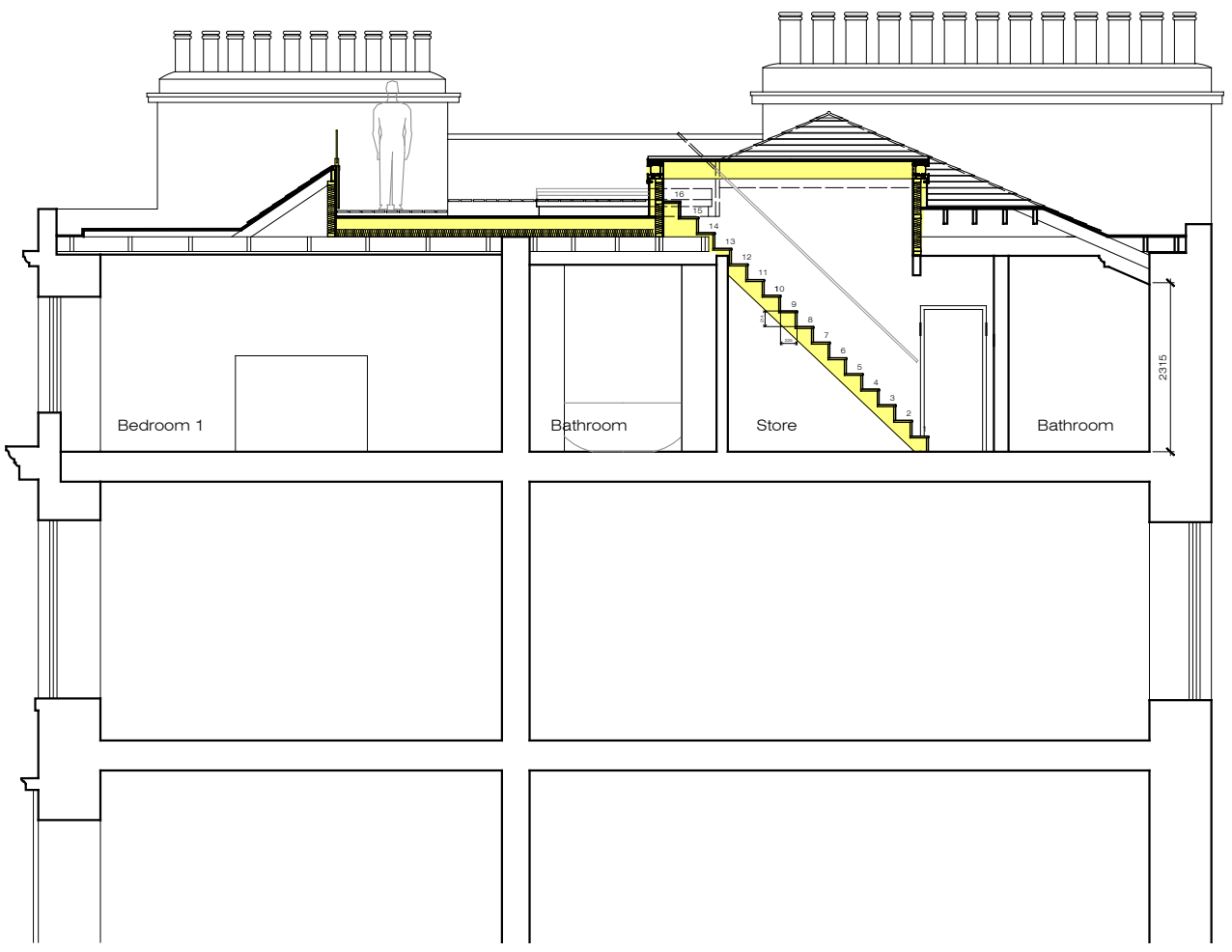
Section AA



Section BB



Section CC



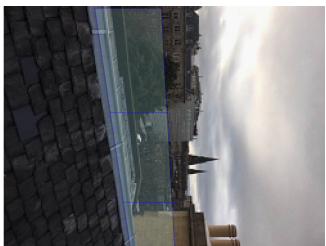
Section DD



A Existing roof and proposed glass balustrade edge just visible but partly masked by foliage



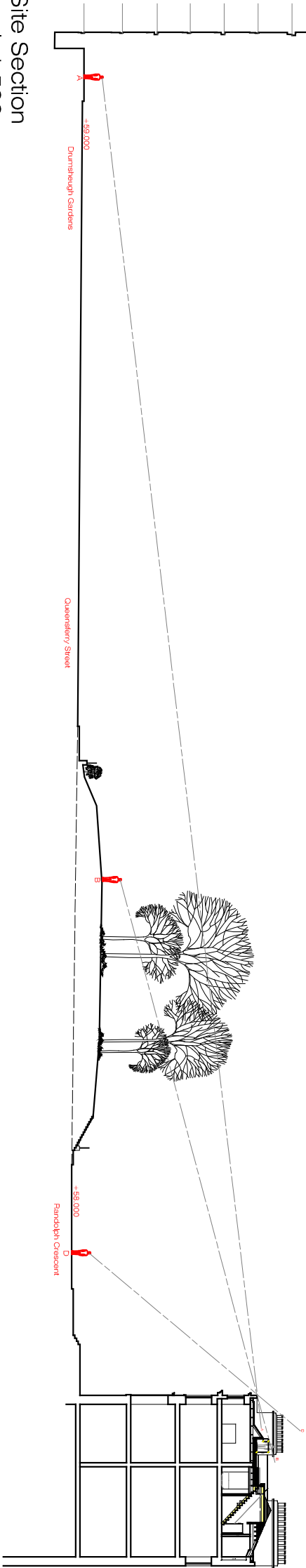
B Existing roof and balustrade not visible (non public view from private gardens)



C View from proposed balustrade position

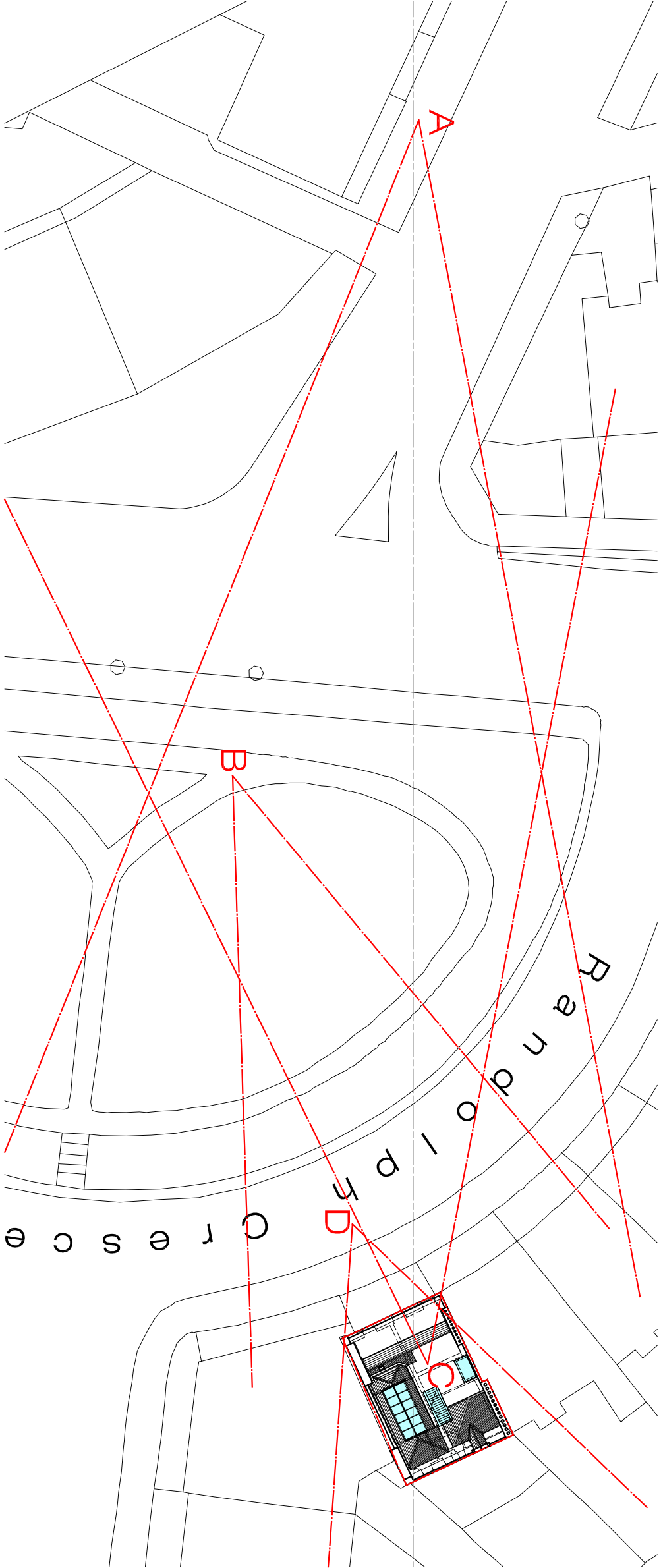
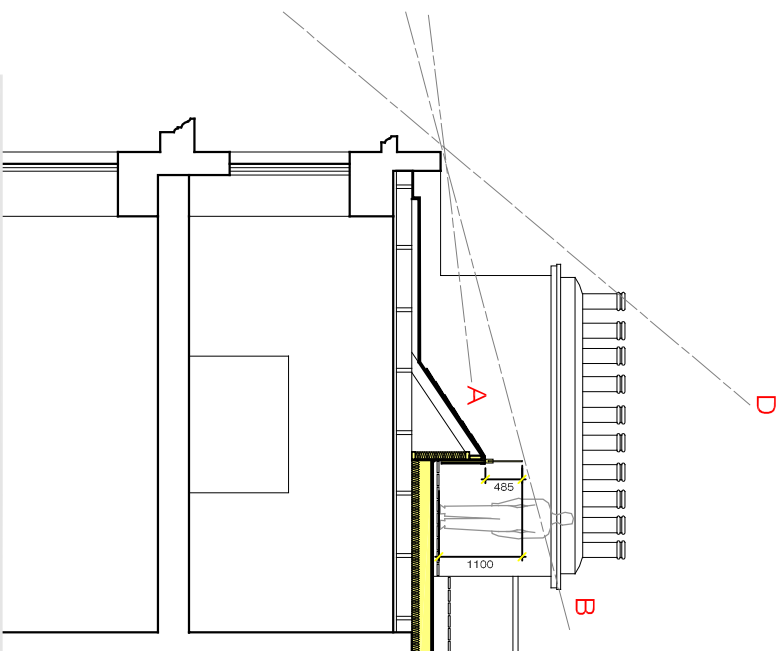


D Existing roof and proposed balustrade not visible

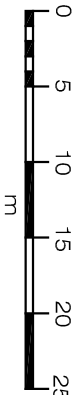


Site Section
scale 1:500

Detail Section
scale 1:100



Site Plan
scale 1:500



The Breakfast Mission, 15 Old Fishmarket Close, Edinburgh EH1 1RW

t: 0131 220 6125 mail@richardmurphyarchitects.com
f: 0131 220 6781 www.richardmurphyarchitects.com

Richard Murphy Architects

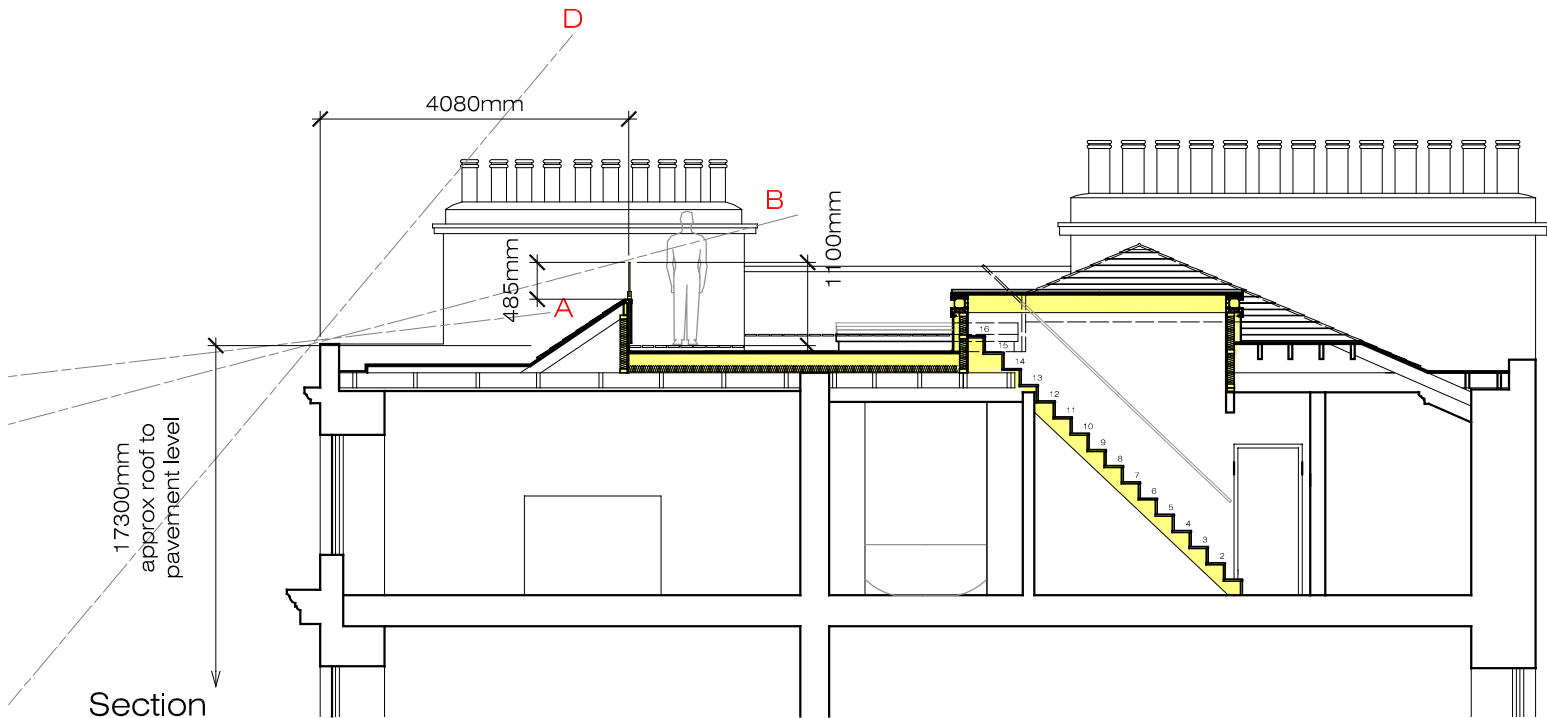
PROJECT TITLE
**Flat 2F, 10 Randolph Crescent
Proposed Roof Level Alterations**

DRAWING TITLE
Viewpoint Locations

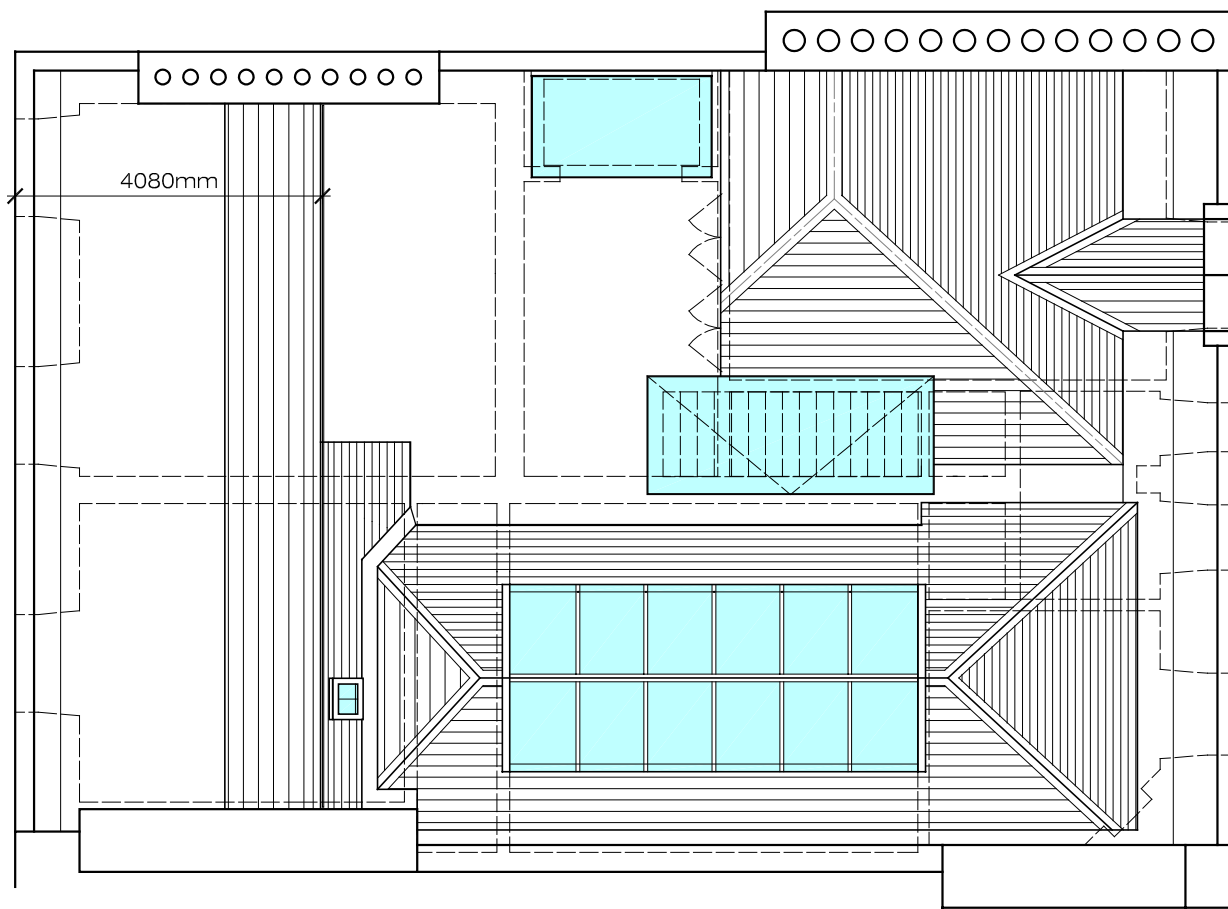
DWG STATUS
Planning

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CHECKED		DATE	16.11.20
FILE		SCALE	1:500/100

DRAWING NO.	PA/01/00	REVISION	
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Section
scale 1:100



Roof Plan
scale 1:100



Existing Aerial View

The Breakfast Mission, 15 Old Fishmarket Close, Edinburgh EH1 1RW

t: 0131 220 6125
f: 0131 220 6781

mail@richardmurphyarchitects.com
www.richardmurphyarchitects.com

Richard Murphy
Architects

PROJECT TITLE **Flat 2F, 10 Randolph Crescent
Proposed Roof Level Alterations**

DRAWING TITLE **Proposed Roofplan and Section**

DWG STATUS **Planning**

DRAWN	jem	JOB NO.	595
CHECKED		DATE	16.11.20
FILE		SCALE	1:500/100

DRAWING NO.	PA/01/01	REVISION	
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Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100275967-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Description of Proposal

Please describe accurately the work proposed: * (Max 500 characters)

Alterations to an existing upper floor and roof of a terraced townhouse to provide new, permanent stair access up to a central flat roof area via a new, opening glass roof light. Part removal of inward facing pitched roof structures and slate covering provides an enlarged flat roof area as a private external terrace forming the sole external space for the property. Removal of substandard glazed roof lantern over existing en suite and replacement with flush walk-on glass rooflight

Has the work already been started and/ or completed? *

☒ No ☐ Yes - Started ☐ Yes – Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Richard Murphy Architects		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	James	Building Name:	
Last Name: *	Mason	Building Number:	15
Telephone Number: *		Address 1 (Street): *	Old Fishmarket Cloce
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	Scotland
		Postcode: *	EH1 1RW
Email Address: *			
Is the applicant an individual or an organisation/corporate entity? *			
<input checked="" type="checkbox"/> Individual <input type="checkbox"/> Organisation/Corporate entity			

Applicant Details

Please enter Applicant details

Title:	Other	You must enter a Building Name or Number, or both: *	
Other Title:	Dr	Building Name:	
First Name: *	Gundula	Building Number:	10
Last Name: *	Thiel	Address 1 (Street): *	Randolph Crescent
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Edinburgh
Extension Number:		Country: *	United Kingdom
Mobile Number:		Postcode: *	EH3 7TT
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

City of Edinburgh Council

Full postal address of the site (including postcode where available):

Address 1:

10 RANDOLPH CRESCENT

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

EDINBURGH

Post Code:

Please identify/describe the location of the site or sites

Northing

673933

Easting

324425

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

☐ Yes ☒ No

Trees

Are there any trees on or adjacent to the application site? *

☐ Yes ☒ No

If yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Access and Parking

Are you proposing a new or altered vehicle access to or from a public road? *

☐ Yes ☒ No

If yes, please describe and show on your drawings the position of any existing, altered or new access points, highlighting the changes you proposed to make. You should also show existing footpaths and note if there will be any impact on these.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

☐ Yes ☒ No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

☒ Yes ☐ No

Is any of the land part of an agricultural holding? *

☐ Yes ☒ No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: James Mason

On behalf of: Dr Gundula Thiel

Date: 01/07/2020

☒ Please tick here to certify this Certificate. *

Checklist – Application for Householder Application

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

- a) Have you provided a written description of the development to which it relates? * ☒ Yes ☐ No
- b) Have you provided the postal address of the land to which the development relates, or if the land in question has no postal address, a description of the location of the land? * ☒ Yes ☐ No
- c) Have you provided the name and address of the applicant and, where an agent is acting on behalf of the applicant, the name and address of that agent? * ☒ Yes ☐ No
- d) Have you provided a location plan sufficient to identify the land to which it relates showing the situation of the land in relation to the locality and in particular in relation to neighbouring land? *. This should have a north point and be drawn to an identified scale. ☒ Yes ☐ No
- e) Have you provided a certificate of ownership? * ☒ Yes ☐ No
- f) Have you provided the fee payable under the Fees Regulations? * ☒ Yes ☐ No
- g) Have you provided any other plans as necessary? * ☒ Yes ☐ No

Continued on the next page

A copy of the other plans and drawings or information necessary to describe the proposals (two must be selected). *

You can attach these electronic documents later in the process.

- ☒ Existing and Proposed elevations.
- ☒ Existing and proposed floor plans.
- ☒ Cross sections.
- ☒ Site layout plan/Block plans (including access).
- ☒ Roof plan.
- ☒ Photographs and/or photomontages.

Additional Surveys – for example a tree survey or habitat survey may be needed. In some instances you may need to submit a survey about the structural condition of the existing house or outbuilding. ☐ Yes ☒ No

A Supporting Statement – you may wish to provide additional background information or justification for your Proposal. This can be helpful and you should provide this in a single statement. This can be combined with a Design Statement if required. * ☐ Yes ☒ No

You must submit a fee with your application. Your application will not be able to be validated until the appropriate fee has been Received by the planning authority.

Declare – For Householder Application

I, the applicant/agent certify that this is an application for planning permission as described in this form and the accompanying Plans/drawings and additional information.

Declaration Name: Mr James Mason

Declaration Date: 02/07/2020

Page 6 of 6

Proposal Details

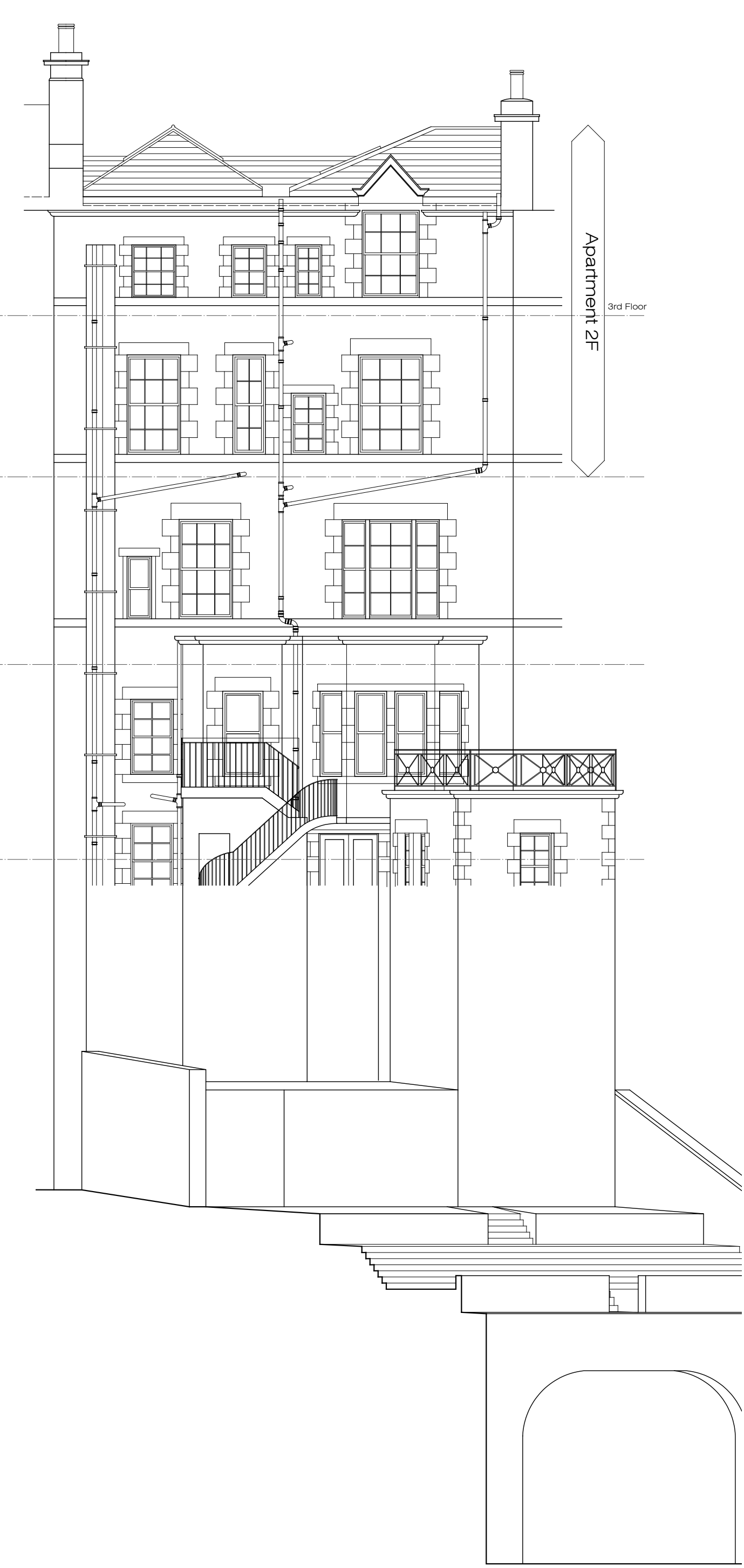
Proposal Name	100337330
Proposal Description	Alter existing roof access and provide permanent stair to new opening roof light. Remove existing lantern over bathroom and replace with new, flat glass rooflight. Alter inward facing pitched roof faces to give enlarged, accessible flat roof area
Address	2F, 10 RANDOLPH CRESCENT, EDINBURGH, EH3
Local Authority	City of Edinburgh Council
Application Online Reference	100337330-001

Application Status

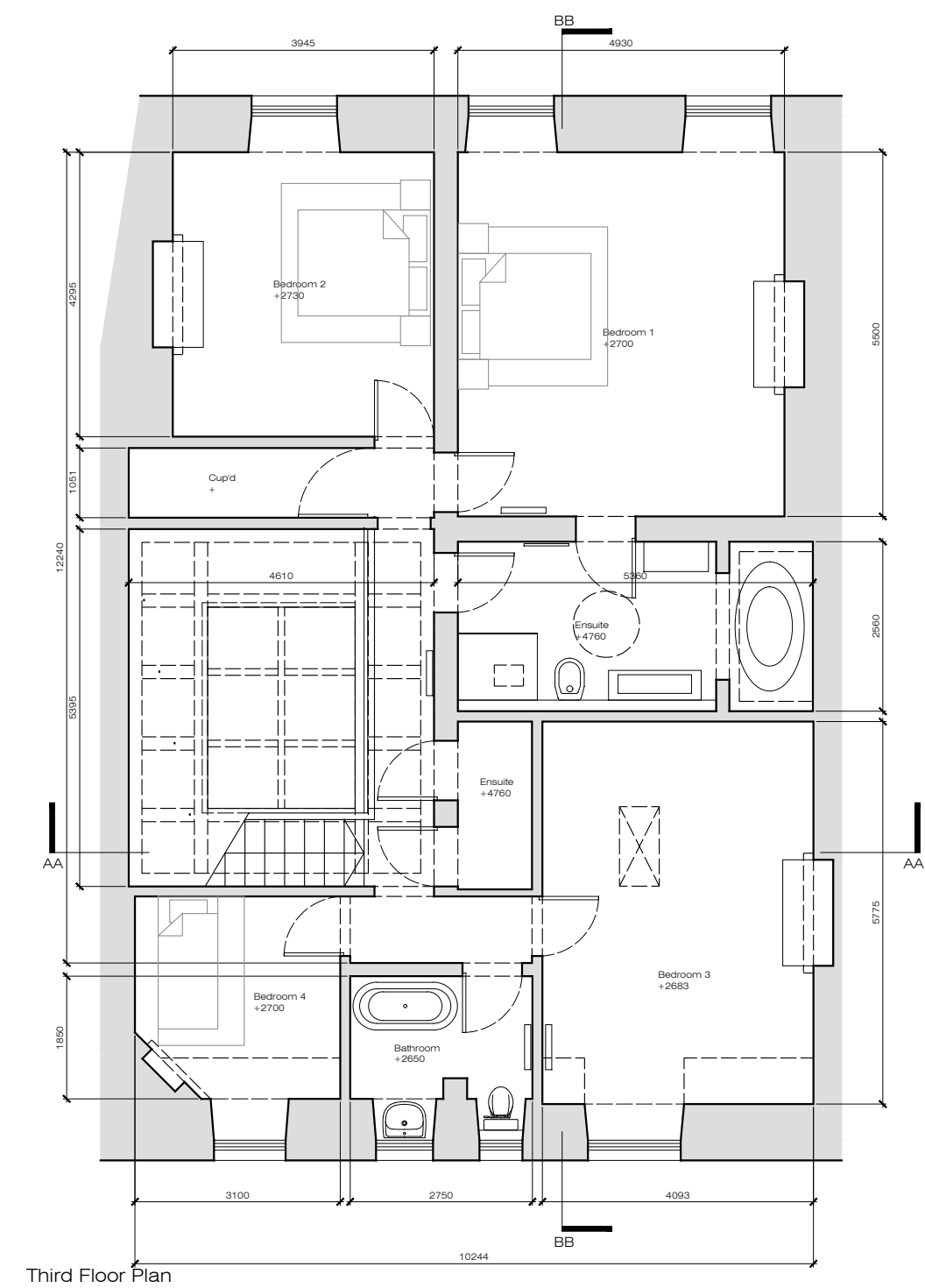
Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

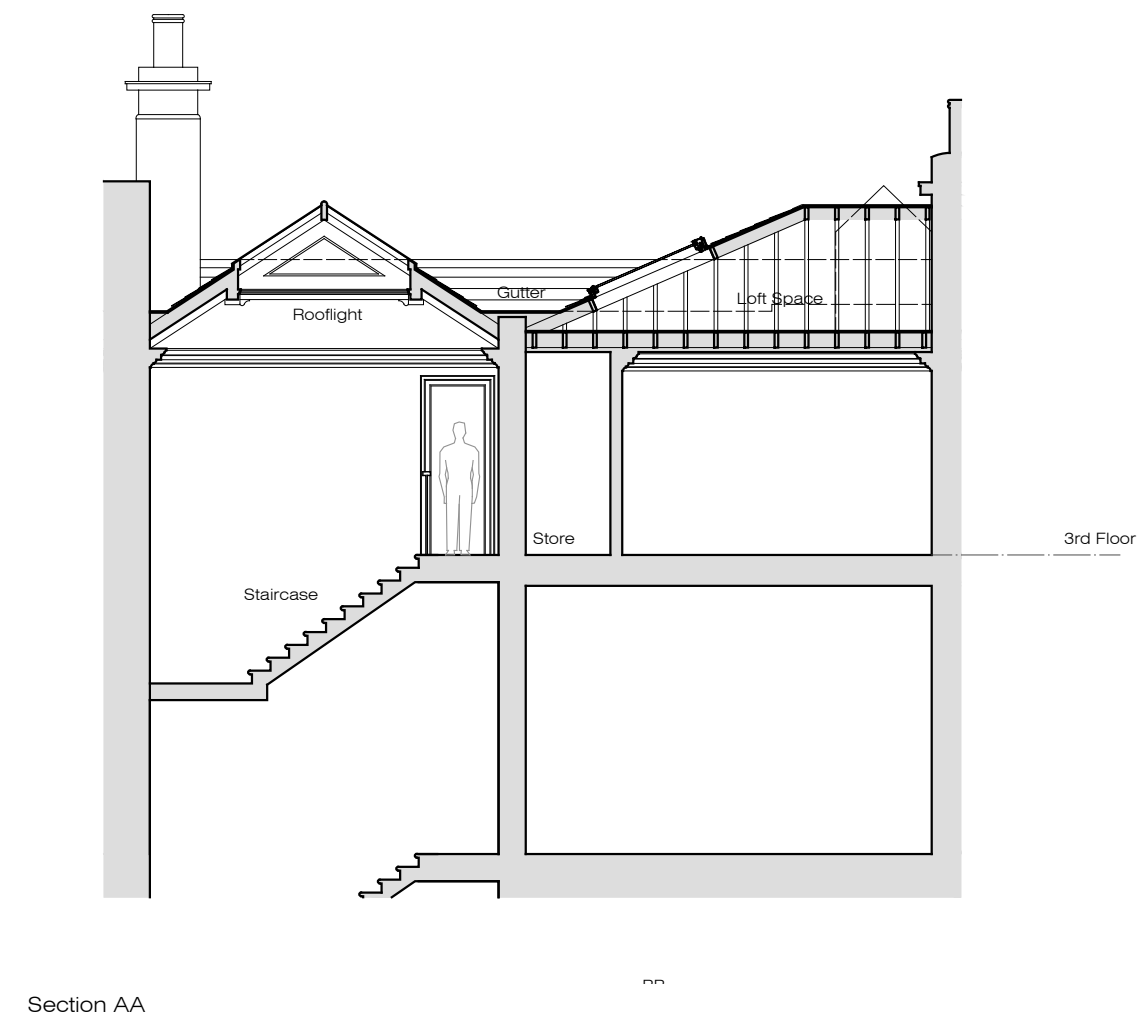
Notice of Review	System	A4
Appeal Statement	Attached	A4
20_012744_FUL_Handling Report	Attached	A4
Decision Notice	Attached	A4
Existing Plans	Attached	A4
Proposed Plans	Attached	A4
Viewpoint Location	Attached	A4
Roof Plan and sections	Attached	A4
Application Form	Attached	A4
Location Plan	Attached	A4
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-001.xml	Attached	A0



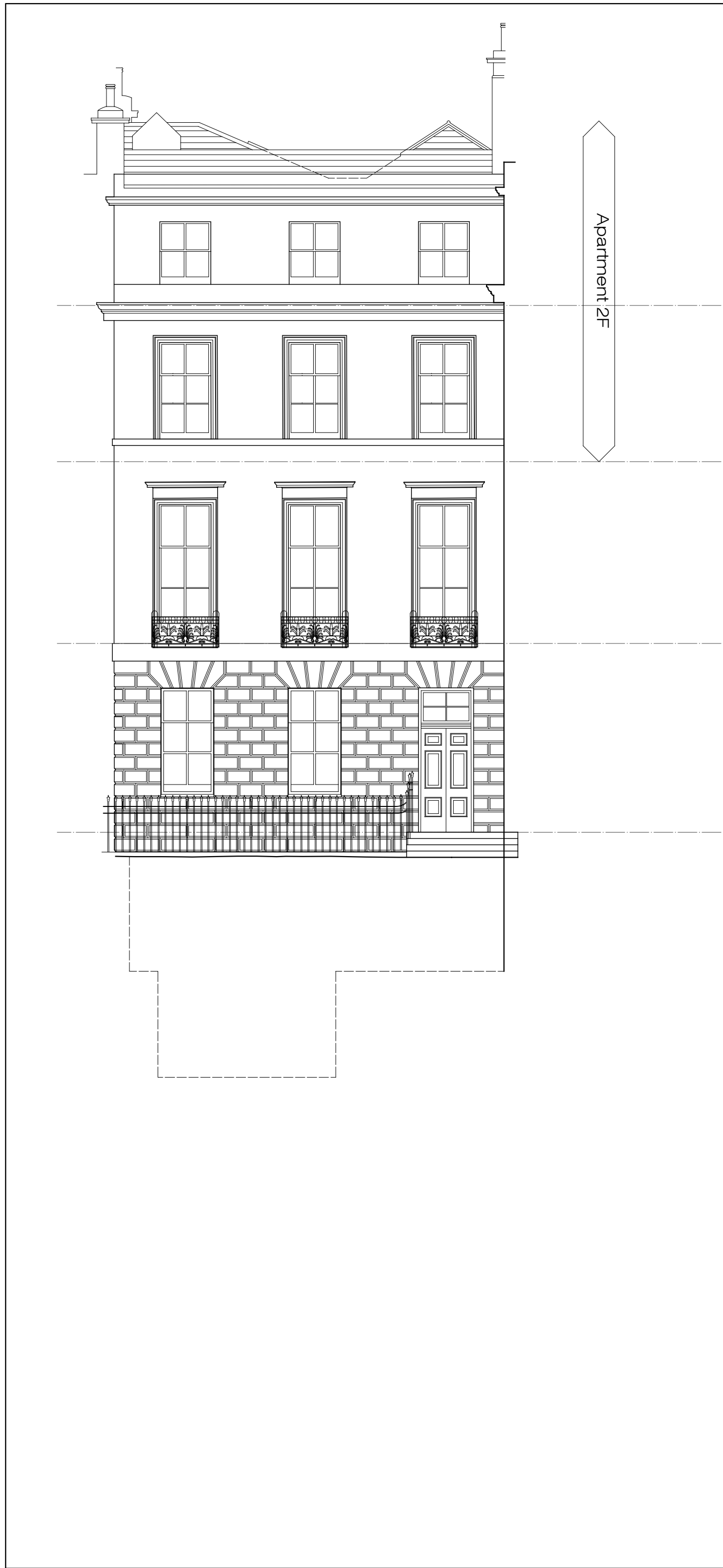
Garden (North) Elevation



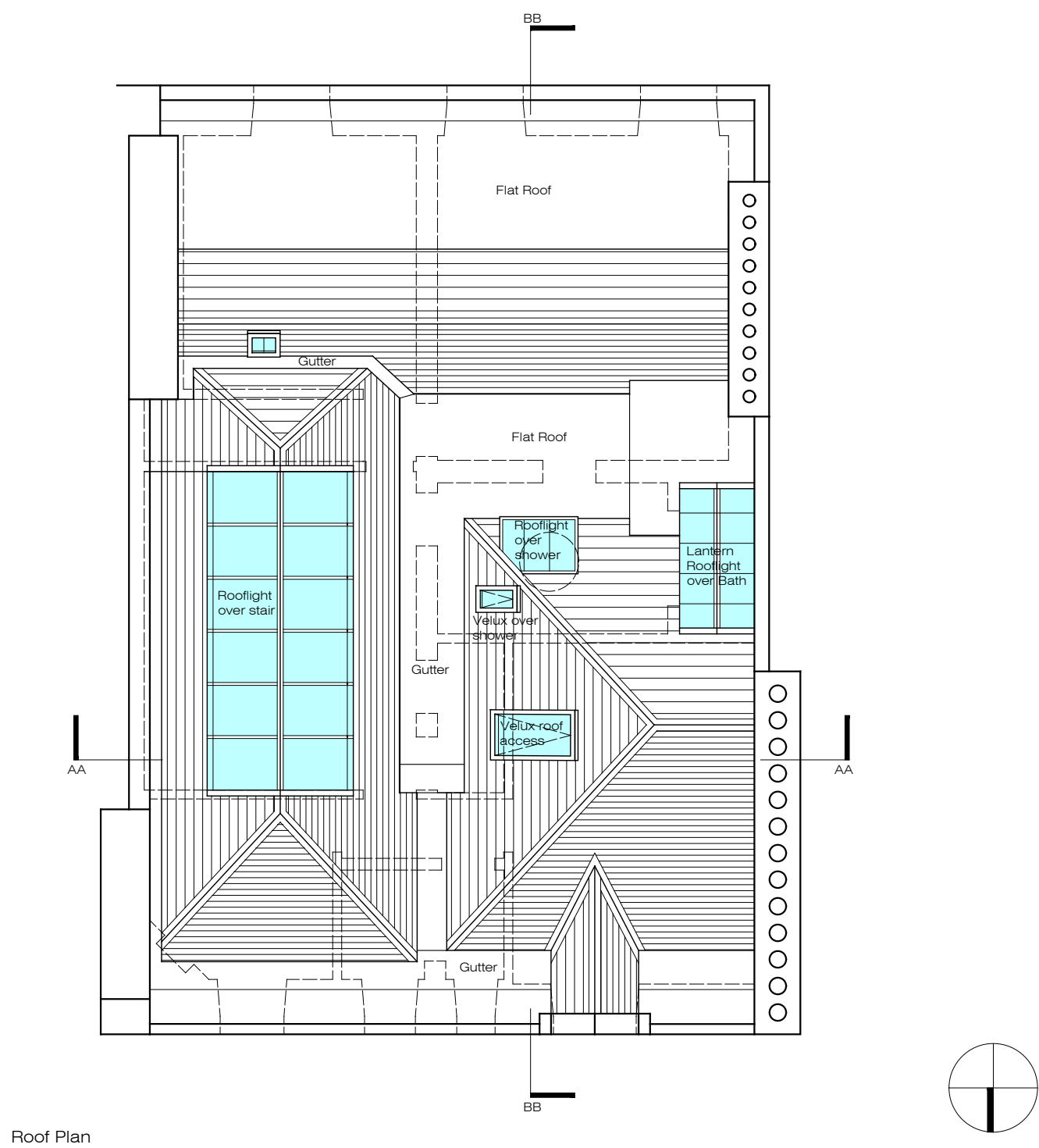
Third Floor Plan



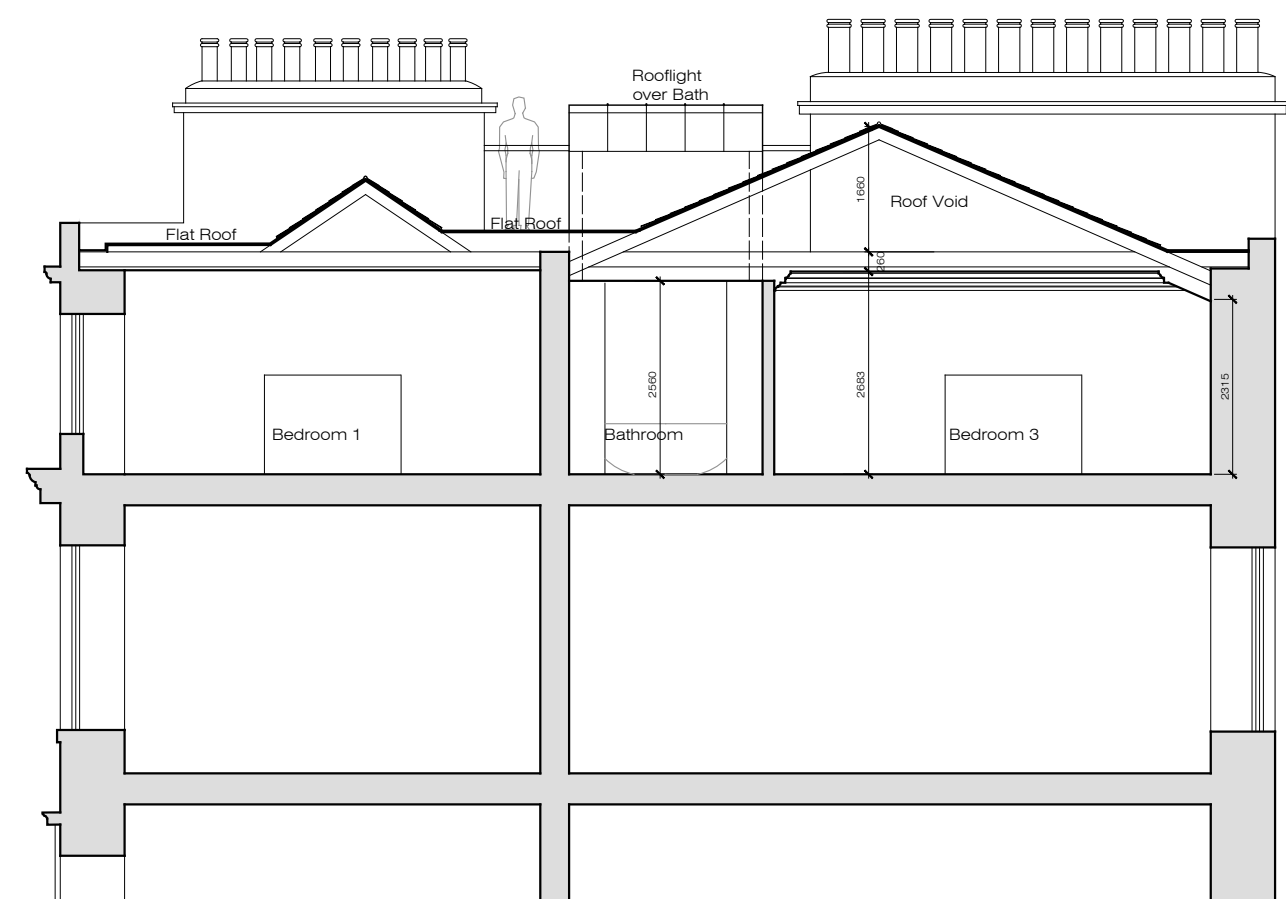
Section AA



Roof Plan



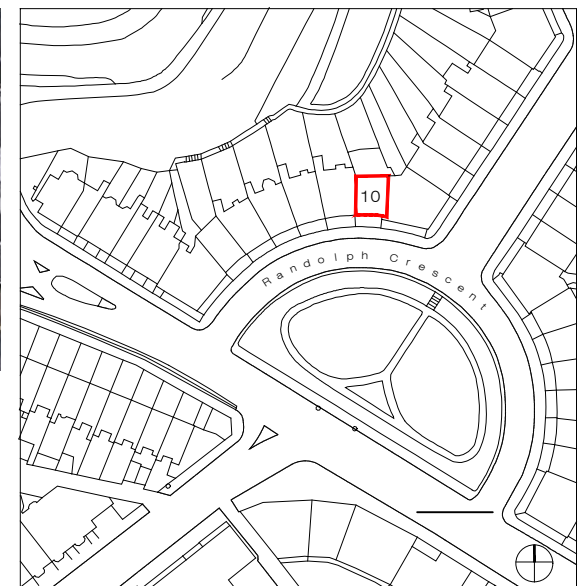
Section BB



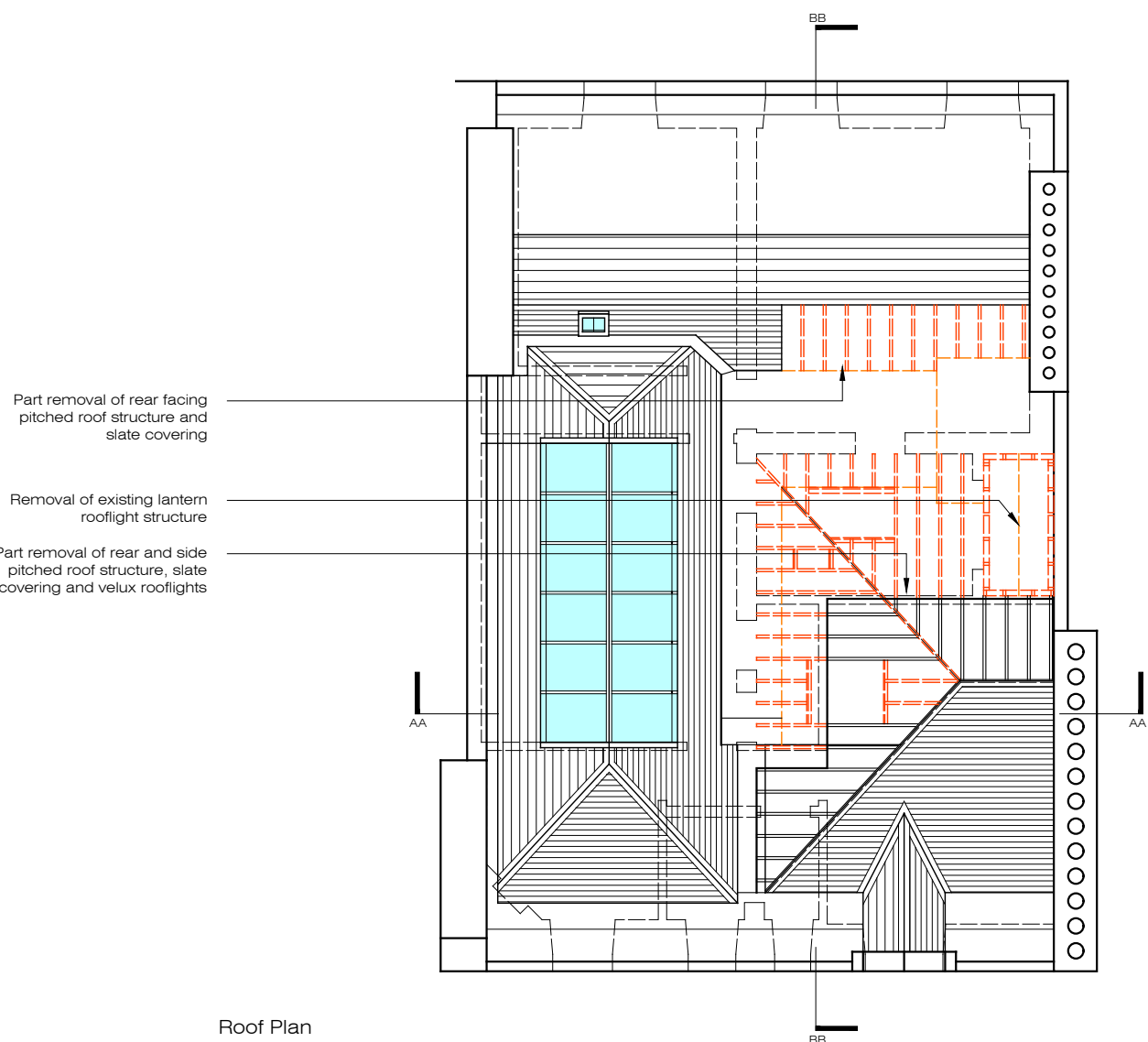
Street Elevation



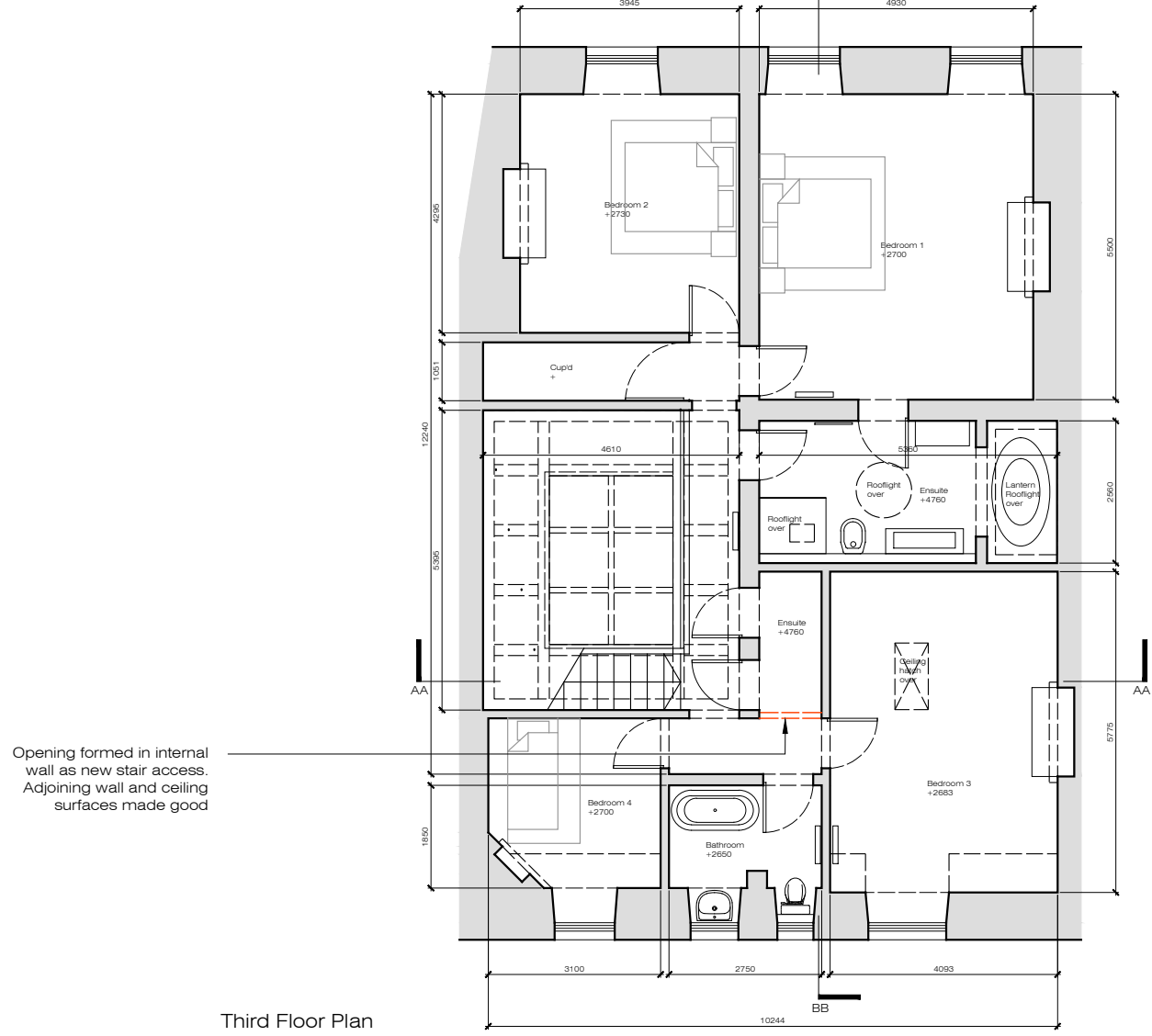
Aerial roofscape



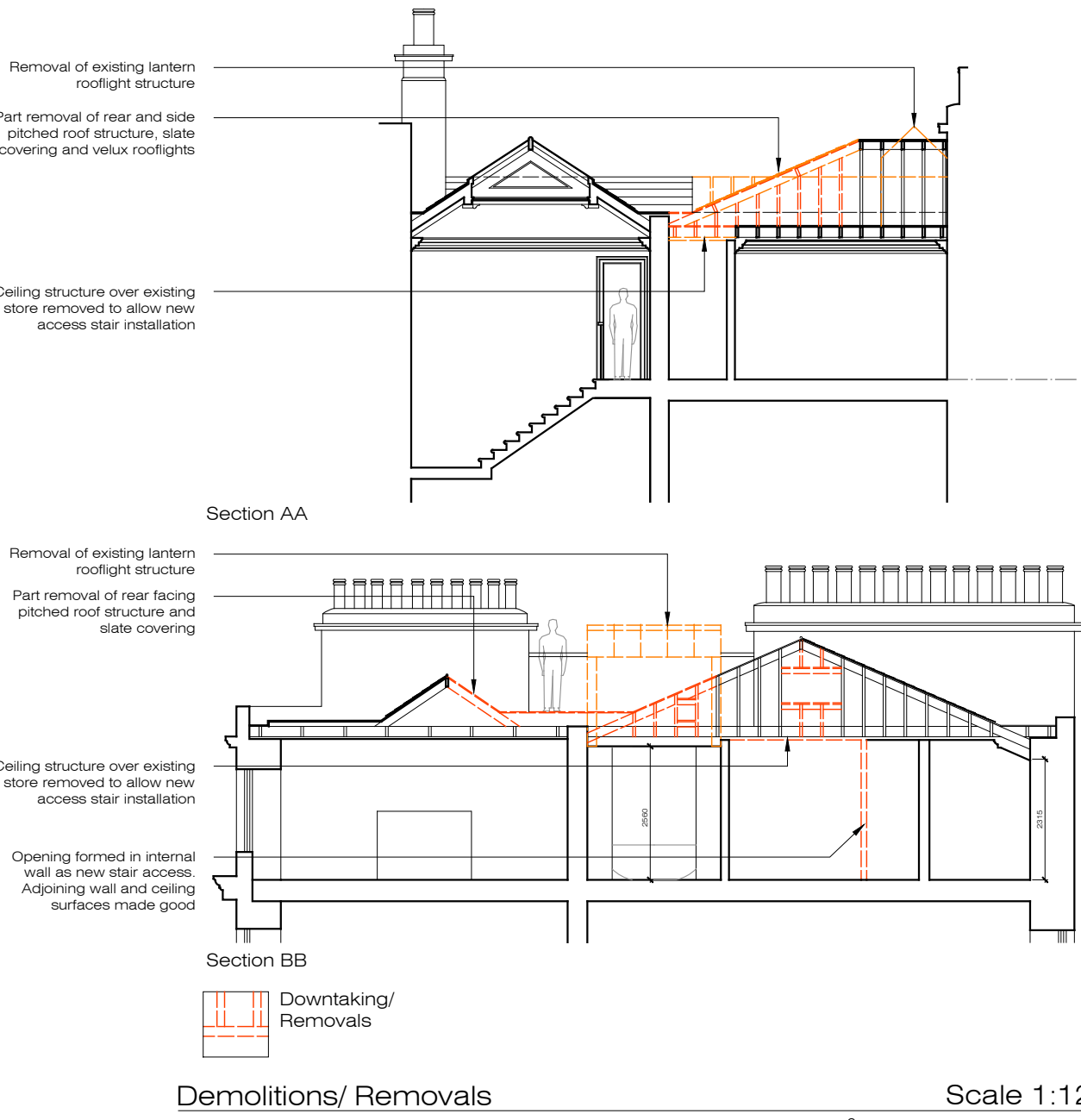
Site Plan
Application Site



Roof Plan



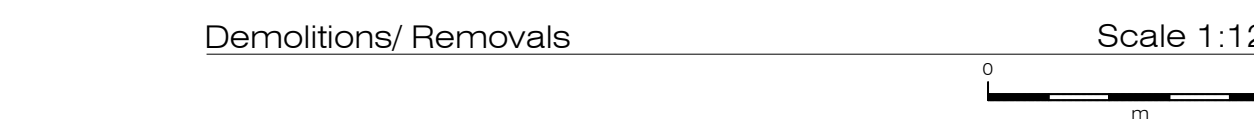
Third Floor Plan



Section AA



Section BB



Demolitions/ Removals



Existing roofscape showing proposed removals

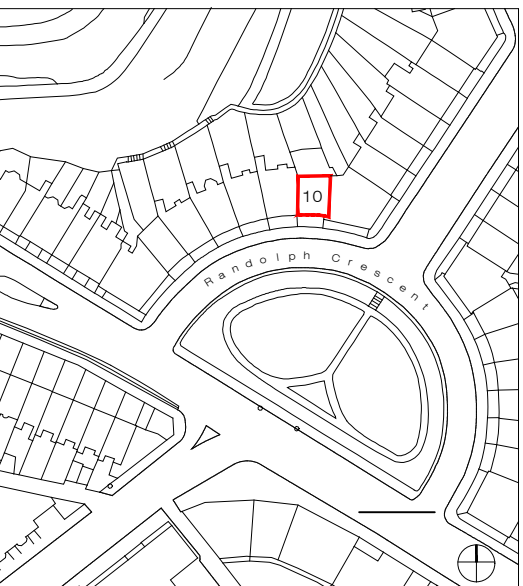


Existing roofscape showing proposed removals

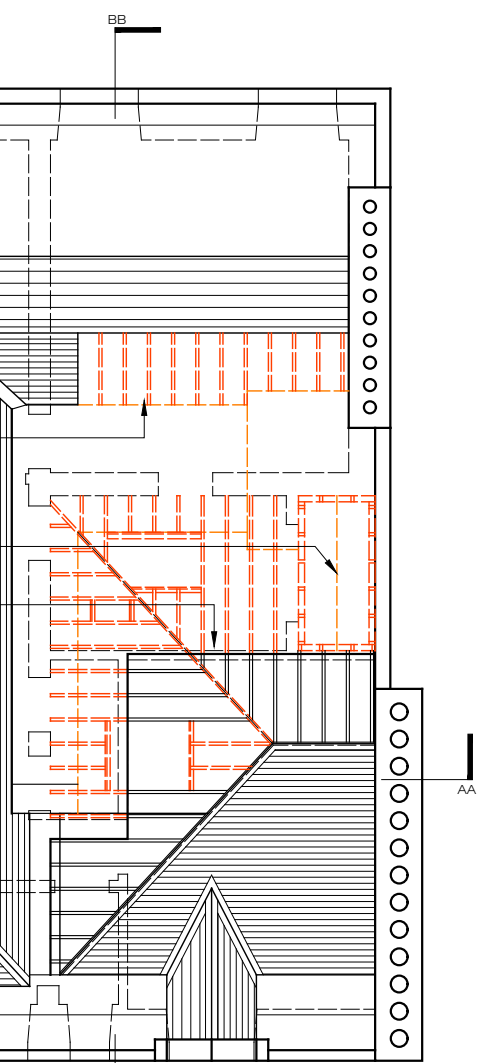
NOTES

Richard Murphy Architects Ltd.
Registered in Scotland No 255372

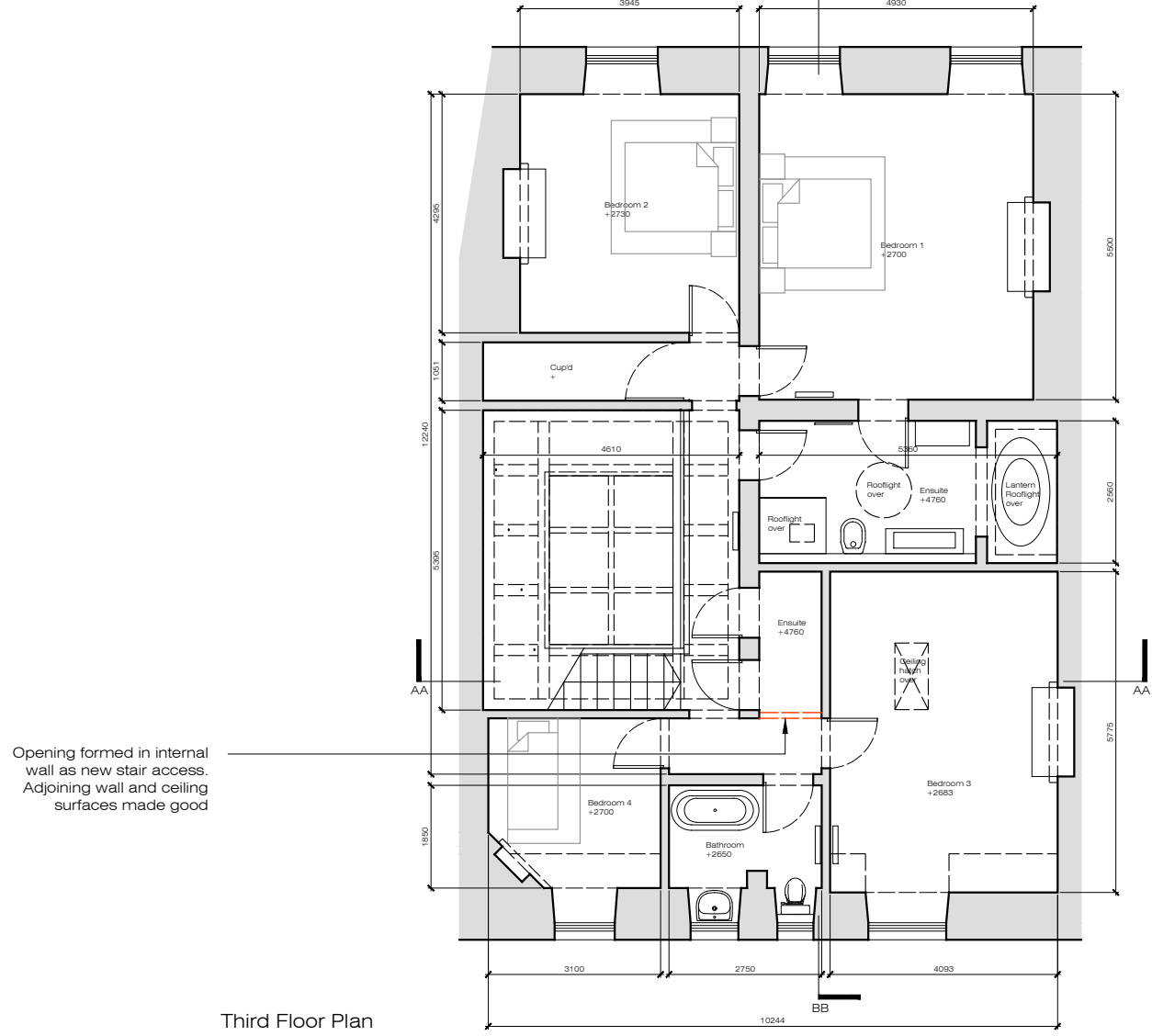
This drawing is copyright. All rights reserved.
Do not scale from this drawing: work from figured dimensions only.



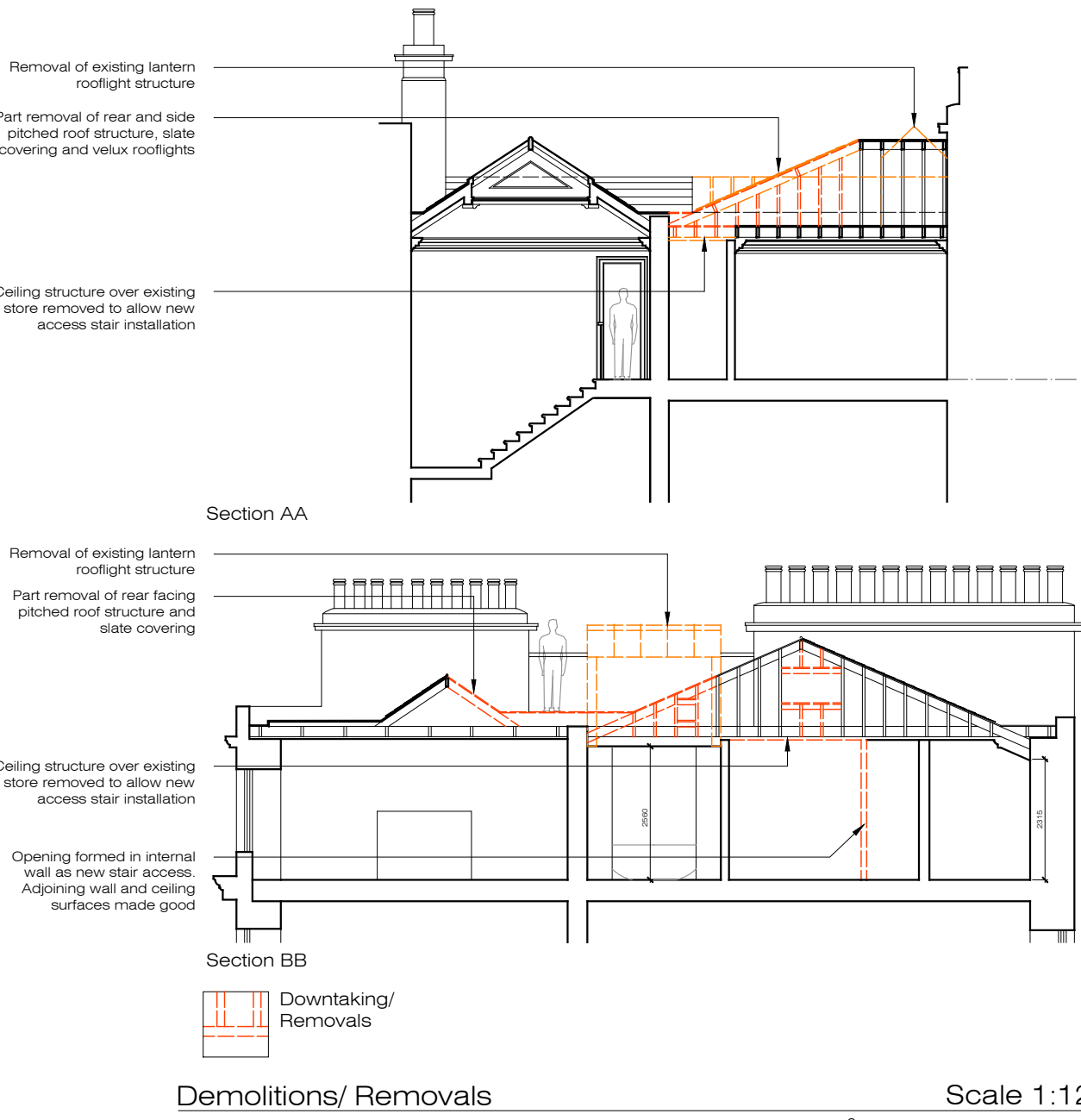
Site Plan
Application Site



Roof Plan



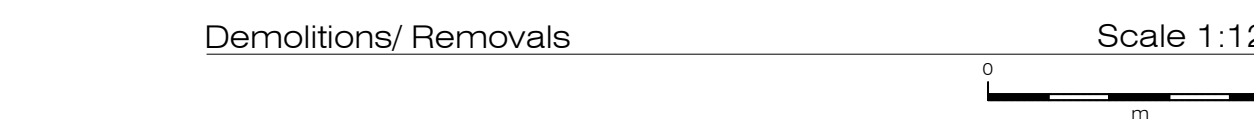
Third Floor Plan



Section AA



Section BB



Demolitions/ Removals



Existing roofscape showing proposed removals



Existing roofscape showing proposed removals

A Planning Issue

01.07.2020

The Breakfast Mission, 15 Old Fishmarket Close, Edinburgh EH1 1RW
t: 0131 220 6125 mail@richardmurphyarchitects.com
f: 0131 220 6781 www.richardmurphyarchitects.com

Richard Murphy
Architects

PROJECT TITLE Flat 2F, 10 Randolph Crescent
Proposed Roof Level Extension

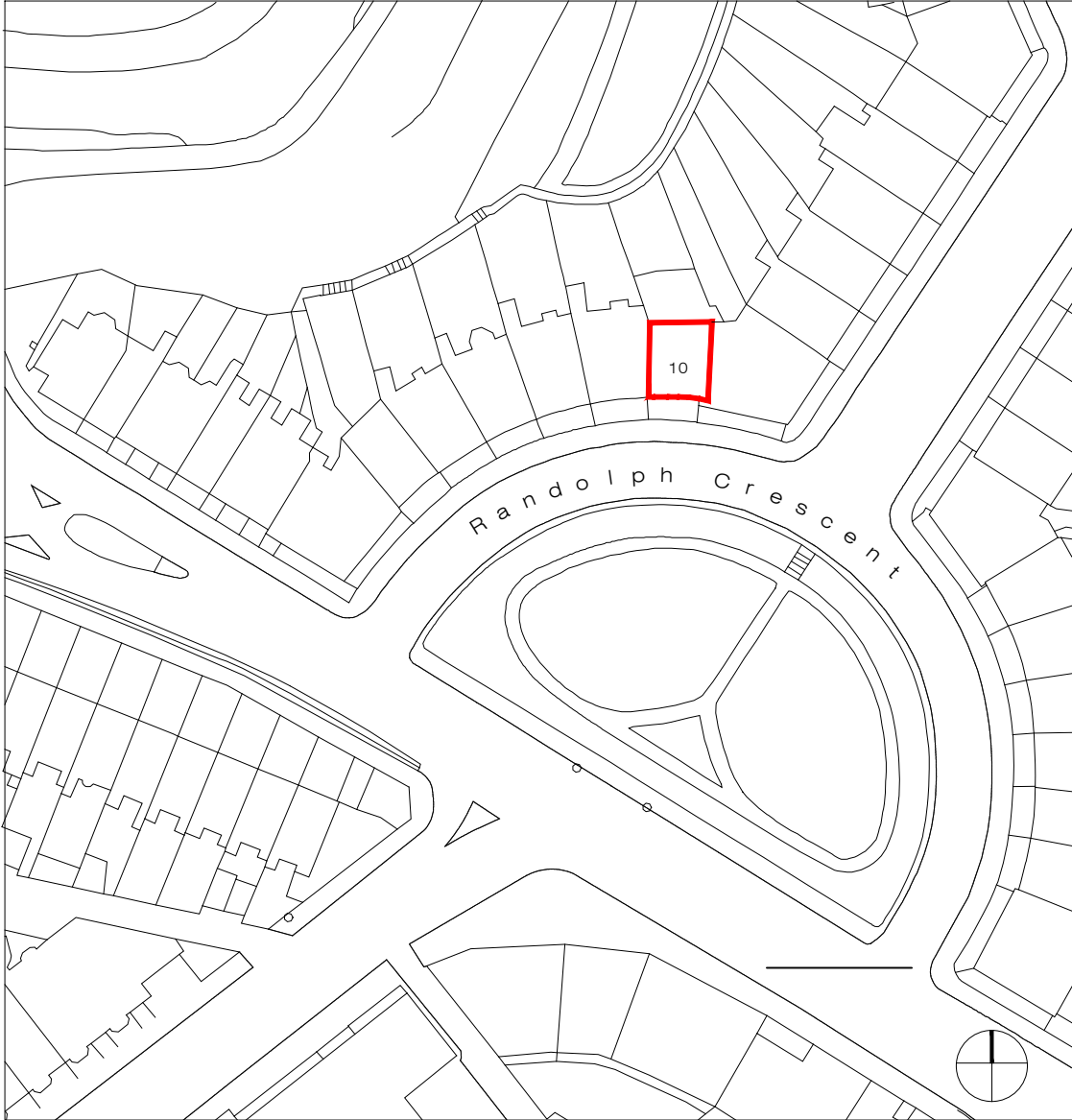
DRAWING TITLE Existing
Demolitions & Removals
Plans, Sections & Elevations

DWG STATUS Planning


DRAWN jem	JOB NO. 595
CHECKED	DATE 30.10.19
FILE	SCALE 1:100 & 125
DRAWING NO. AL/01/01	REVISION A



Aerial roofscape



Site Plan
Application Site 

scale 1:1250


The Breakfast Mission, 15 Old Fishmarket Close, Edinburgh EH1 1RW

t: 0131 220 6125 mail@richardmurphyarchitects.com
f: 0131 220 6781 www.richardmurphyarchitects.com

Richard Murphy Architects

PROJECT TITLE **Flat 2F, 10 Randolph Crescent
Proposed Roof Level Alterations**

DRAWING TITLE **Location Plan**

DWG STATUS **Planning**

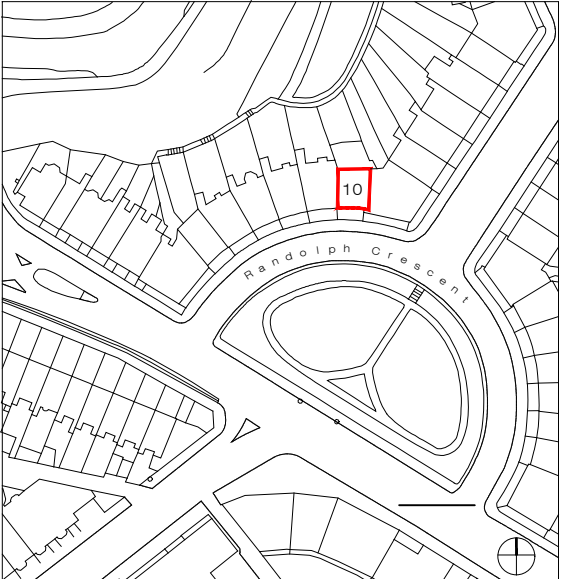
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CHECKED		DATE	30.10.19
FILE		SCALE	1:1250

DRAWING NO.	AL/01/00	REVISION	
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NOTES

Richard Murphy Architects Ltd.
Registered in Scotland No 255372
Firm's 11 year set back sufficiently to be invisible from pavement

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Site Plan
Application Site



Walk-On Rooflight



Sky Door Rooflight



Sky Door Rooflight

Supporting Statement

Existing Building

10 Randolph Crescent forms part of a formal linked terrace of buildings designed by James Gillespie Graham in 1822, located in the Edinburgh New Town Conservation Area and World Heritage Zone and connecting the west end of Queens Street with Queensferry Street. The property is Grade A listed along with no 9-17 Randolph Crescent (inclusive) and 1 and 1A Randolph Cliff (including railings) under reference LB29601.

The property at no. 10 has been divided from its original townhouse form and now contains a number of private dwellings. The main door off Randolph Crescent provides access to a ground and basement apartment (10) with the former main stair leading a first floor apartment (10 1F) and access to the two storey application property (10 2F) above. Separate access to the rear leads to a two storey garden level apartment. Recent Planning application ref 18.01668_FUL, seeking to combine the two lower apartments (10 GF & 10B) was granted. 10B occupies the front half of the basement and is separately accessed from the lightwell off the street.

Existing Roof

Access to the roof is entirely from within the application property 10 2F via an opening rooflight.

Roof configuration to the crescent properties appears to vary, dependant on geometry and plan below.

Evidence of historic modification to the original roof profile can be seen on adjoining chimney stacks (as noted on the photo below). These modifications have resulted in a combination of low and high pitched slated roofs, stone monepitch and lantern rooflights and stepped lead valley gutters.



Poor detailing of existing lantern rooflight to parapet aboutment with minimal weathering upstand and gutter.

Reasons for Development

The proposals is submitted in resolution of two principal issues.

Access - Current roof access is by way of retractable loft ladder within the study/bedroom on the third floor up into the low roof void on the north side and subsequent out via an opening roof light onto the central valley gutter. Access is thus difficult and constrained.

The proposal seeks to provide permanent stair access out to a larger flat roof area via a proprietary glazed, low profile, rooflight (sky door) located in a former store accessed via a new opening off the hallway.

Outdoor Space - Since the division of the property, the upper apartment has no access to outdoor space. The proposal thus seeks to provide, in as inconspicuous a way as possible, private outdoor space for the apartments use. It is clear from the recent lock-down and social isolation period that access to non-public, external space is a vital constituent of both physical and mental health and well being.

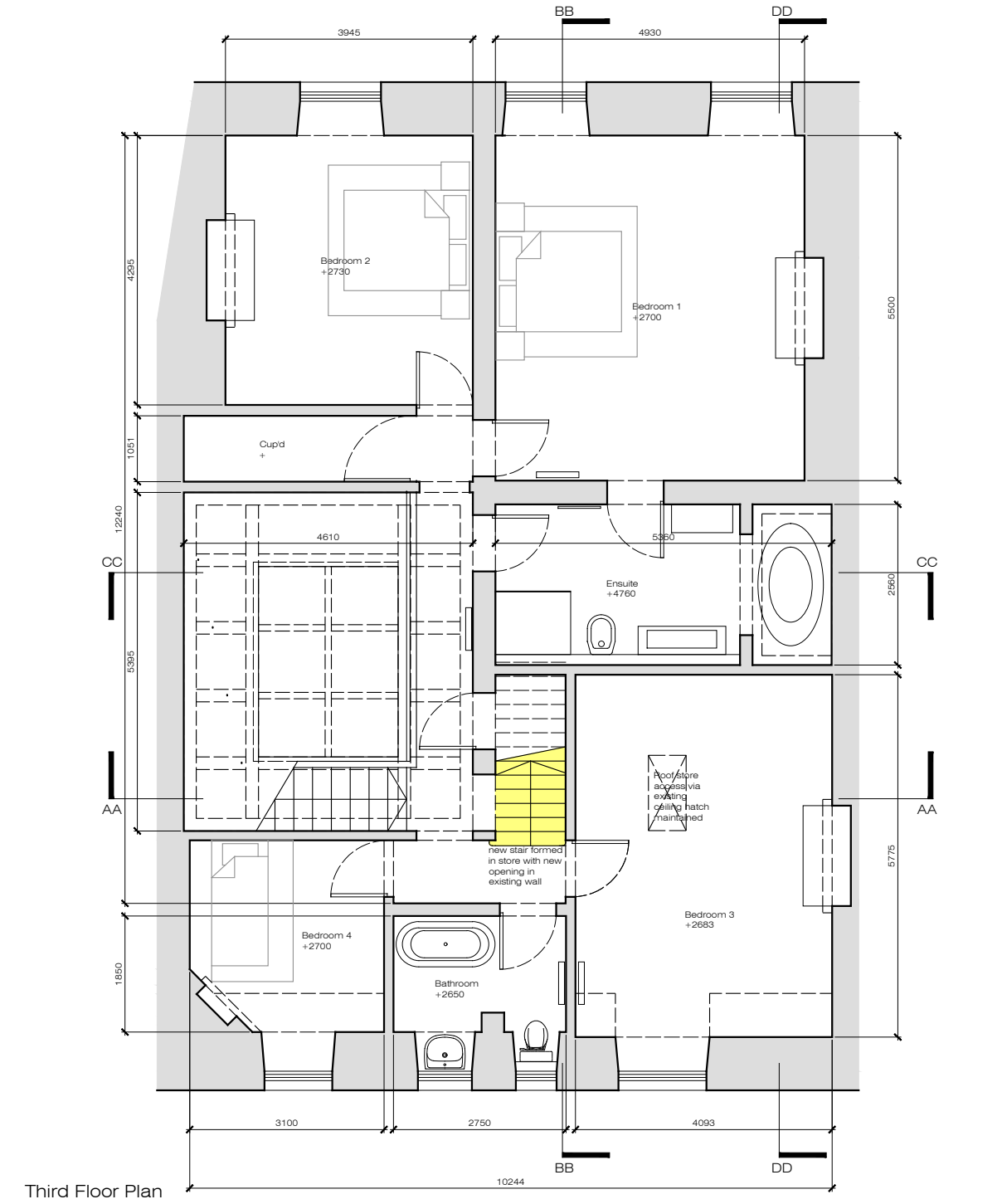
The proposal aims to provide useable external space via the part removal of internal, valley facing sections of slate roofing and the incorporation of new flat roof construction and decking areas. Additionally, an existing poor quality, lantern rooflight structure is proposed to be replaced with a low profile, walk-on flat rooflight over the existing bathroom. Access into the remaining roof void area via hinged doors in the new vertical rain screen cladding allows any loose furniture to be put away and secured with ease, leaving the terrace free of any potentially visible structures when not in use. Finally a minimal, frameless glass balustrade is proposed along the remaining low



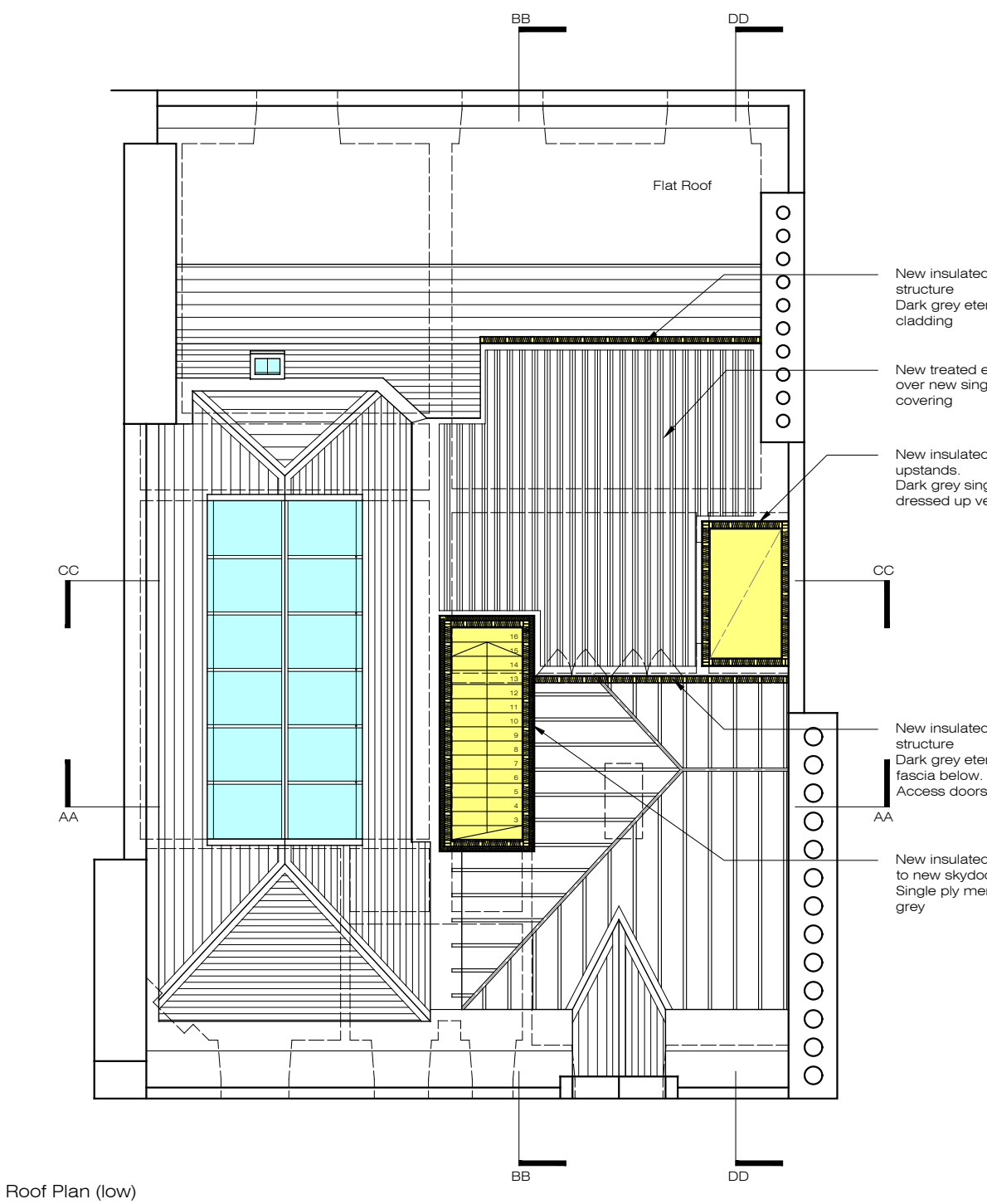
Garden (North) Elevation



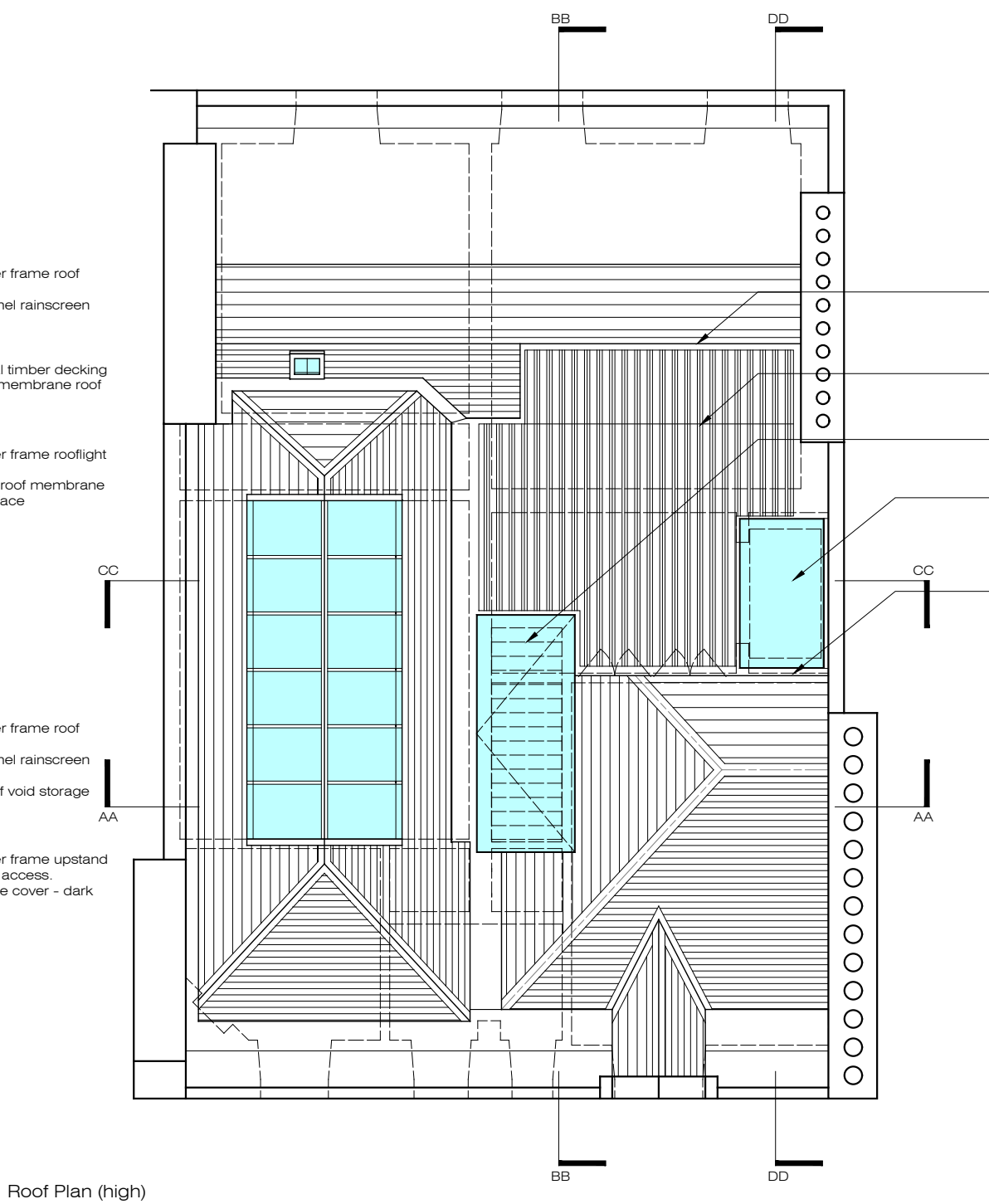
Street (South) Elevation



Third Floor Plan



Roof Plan (low)

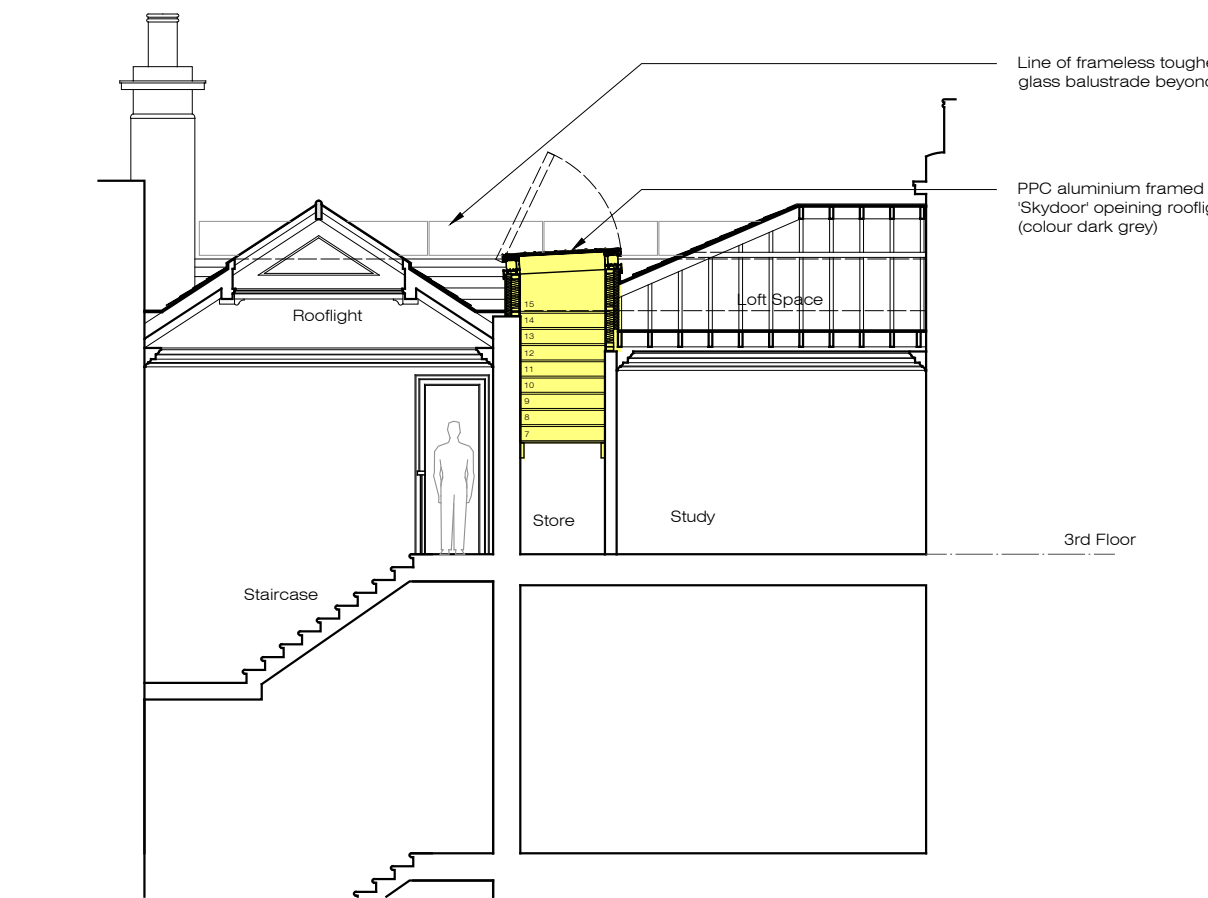


Roof Plan (high)

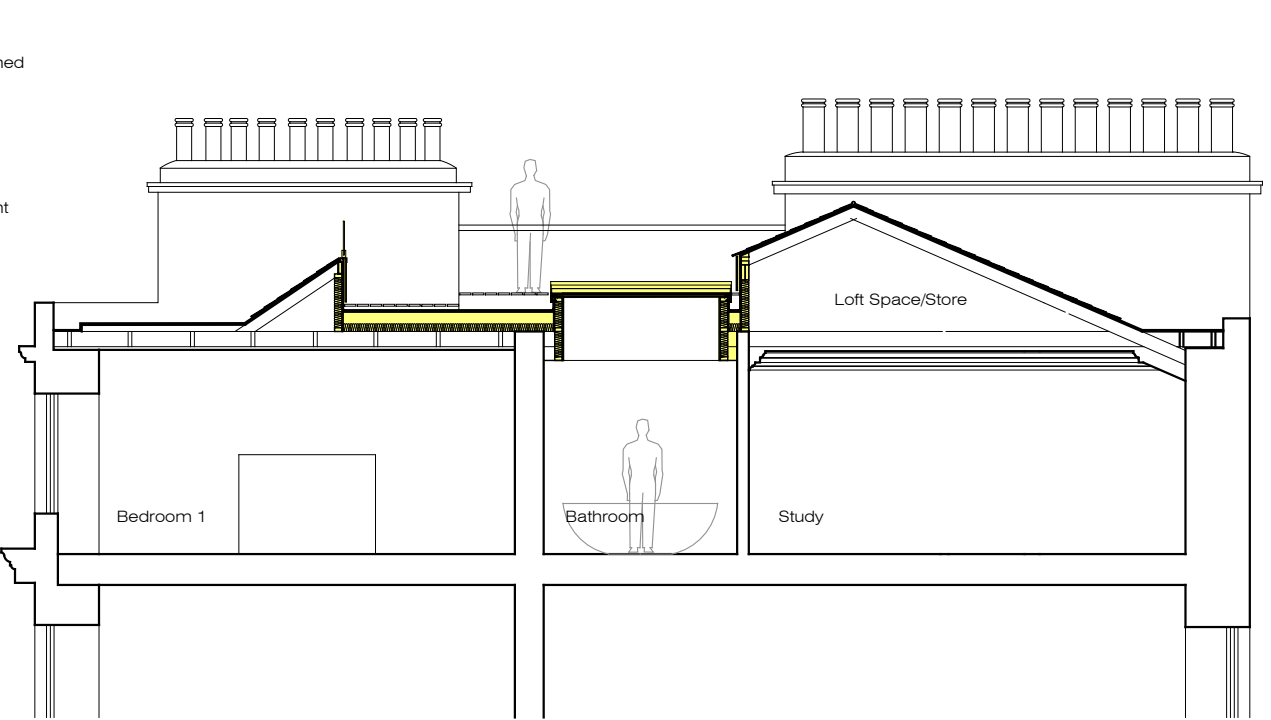


Line of frameless toughened glass balustrade
New vertical dark grey etemit board fascia below
Step in new external timber decking
New dark grey single ply roof membrane below
PRC aluminium framed Skydoor opening rooflight (colour dark grey)
PRC aluminium framed Walk-on rooflight (colour dark grey)

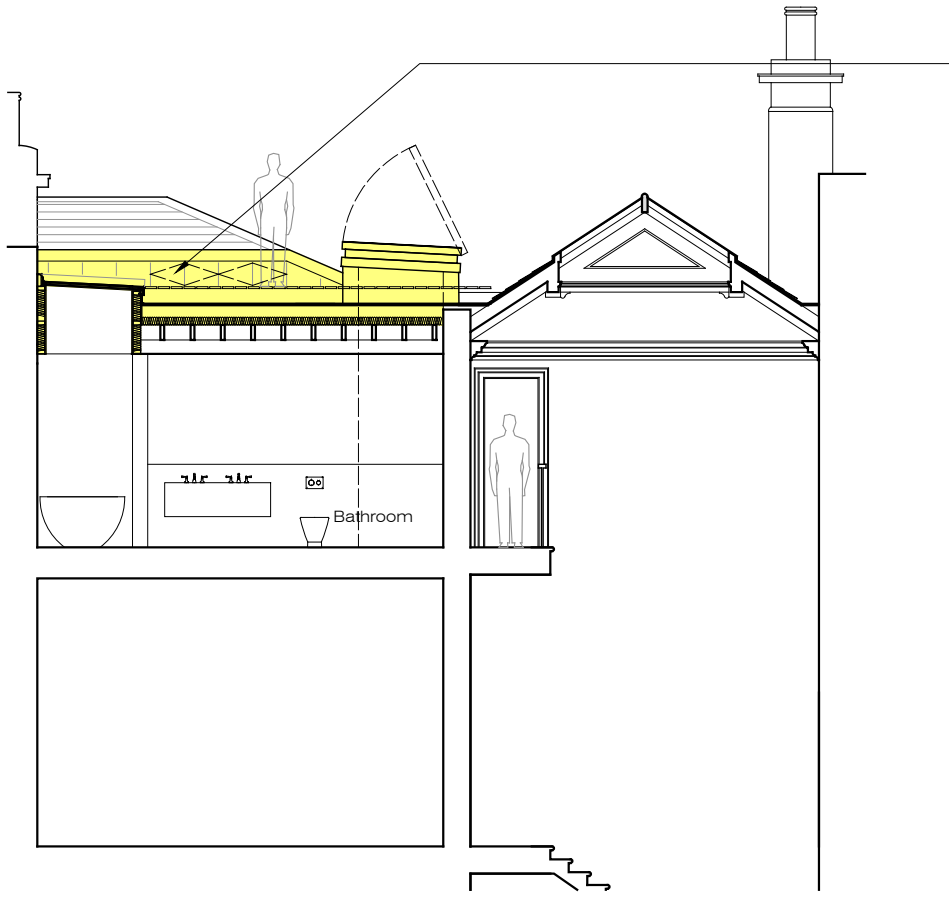
Line of new external roof eaves with code 5 lead eaves flashing
New vertical dark grey etemit board fascia below with hinged door access to roof void storage space



Section AA

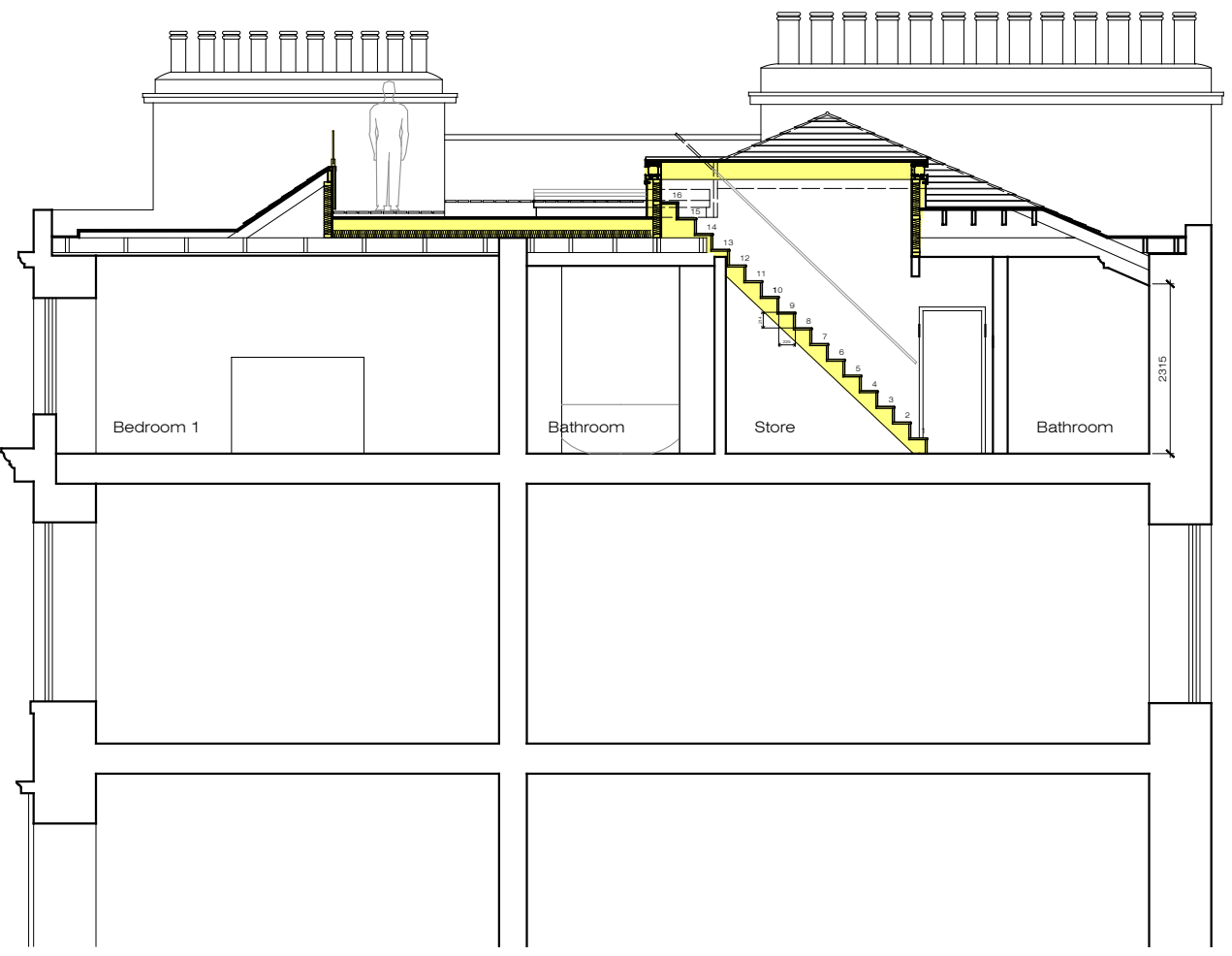


Section BB



Section CC

Line of new roof eaves with dark grey etemit board rainscreen fascia below incorporating access door to remaining roof void for storage



Section DD

A Planning Issue

01.07.2020

The Breakfast Mission, 15 Old Fishmarket Close, Edinburgh EH1 1RW
t 0131 220 6125 mail@richardmurphyarchitects.com
f 0131 220 6781 www.richardmurphyarchitects.com

Richard Murphy
Architects

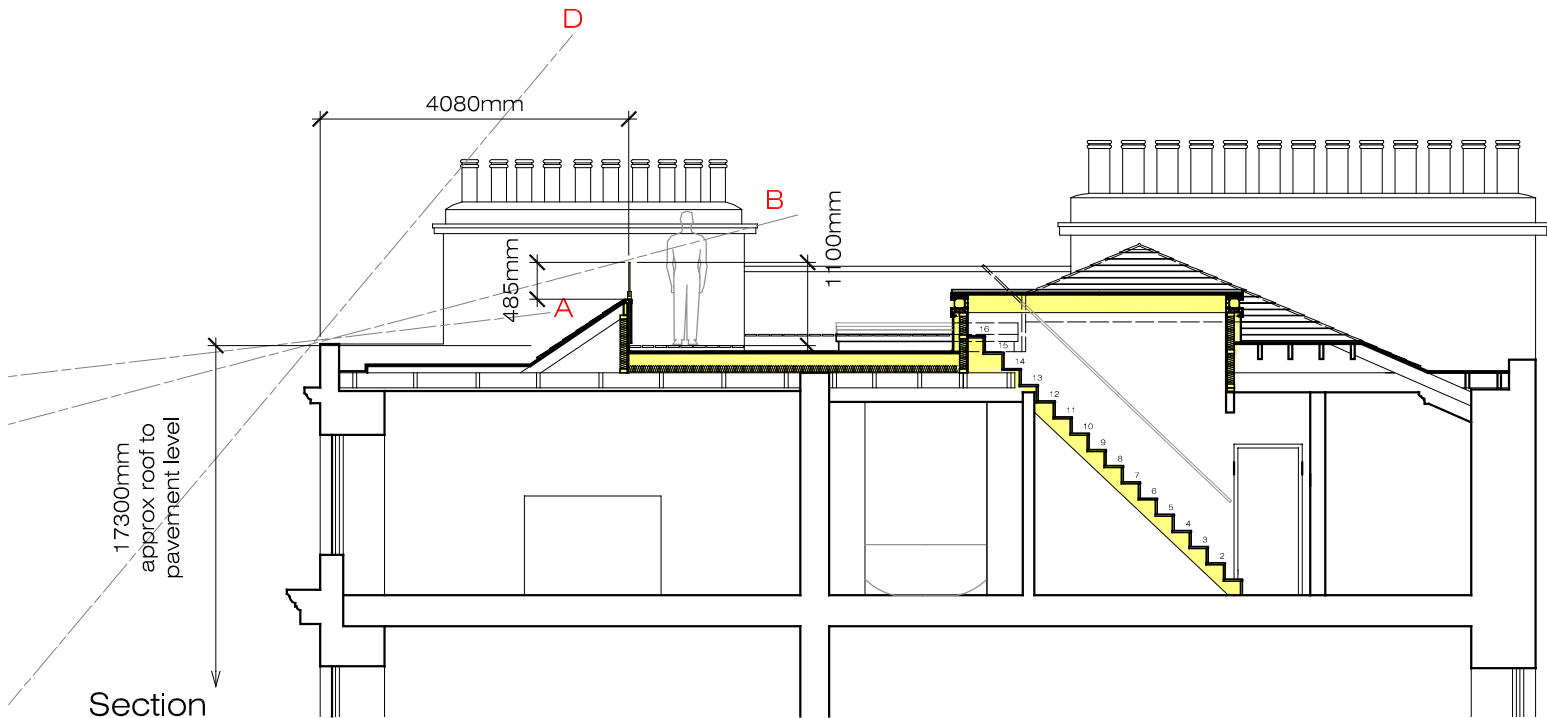
PROJECT TITLE Flat 2F, 10 Randolph Crescent
Proposed Roof Level Extension

DRAWING TITLE Proposed
Plans, Sections & Elevations

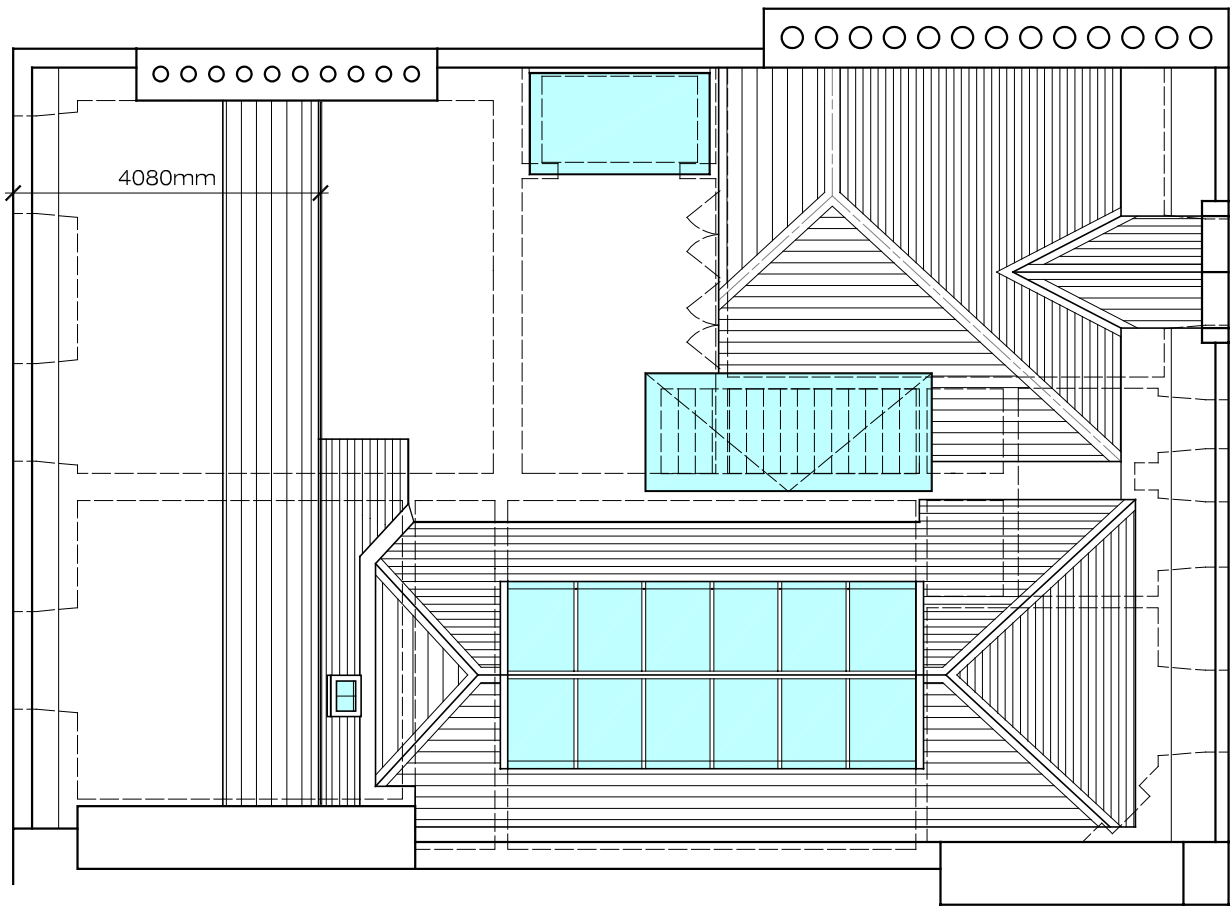
DWG STATUS Planning

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FILE	SCALE 1:100

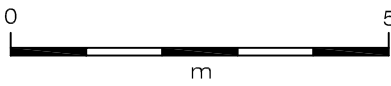
DRAWING NO. AL/02/01	REVISION A
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Section
scale1:100



Roof Plan
scale1:100



Existing Aerial View

The Breakfast Mission, 15 Old Fishmarket Close, Edinburgh EH1 1RW

t: 0131 220 6125
f: 0131 220 6781

mail@richardmurphyarchitects.com
www.richardmurphyarchitects.com

Richard Murphy
Architects

PROJECT TITLE **Flat 2F, 10 Randolph Crescent
Proposed Roof Level Alterations**

DRAWING TITLE **Proposed Roofplan and Section**

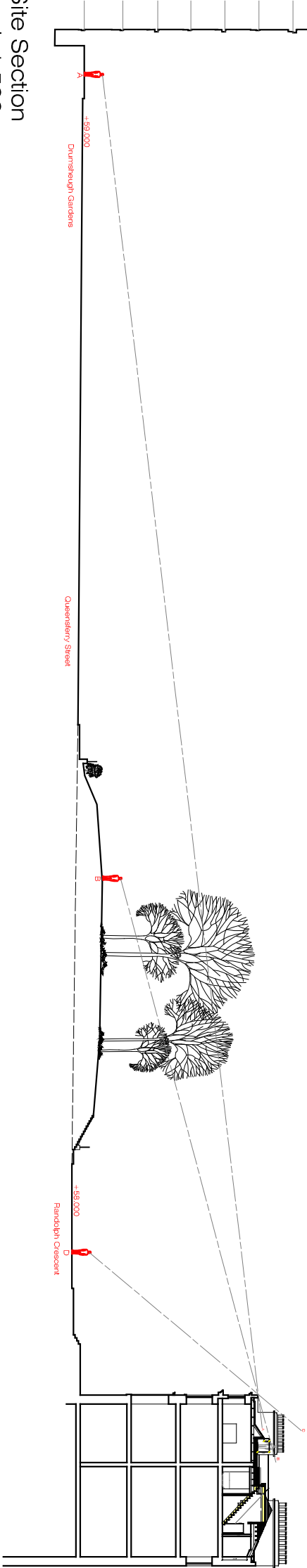
DWG STATUS **Planning**

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CHECKED		DATE	16.11.20
FILE		SCALE	1:500/100

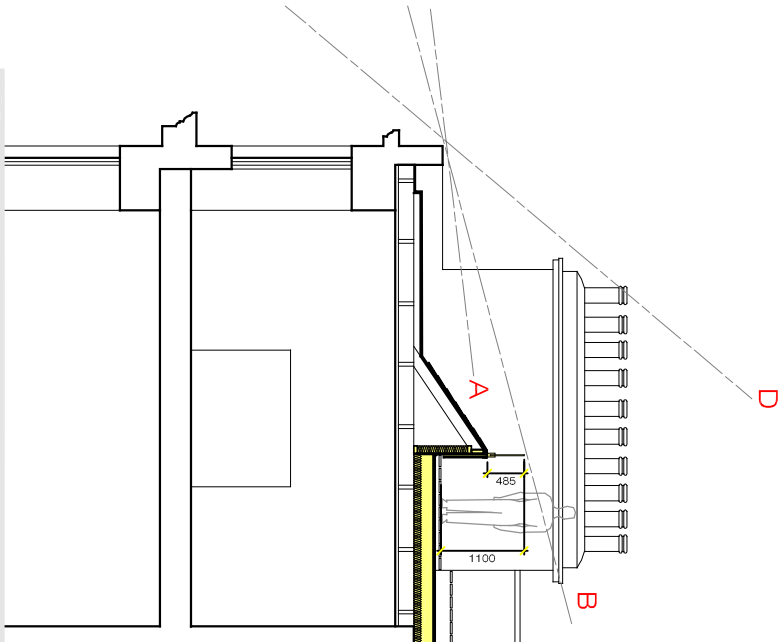
DRAWING NO.	PA/01/01	REVISION	
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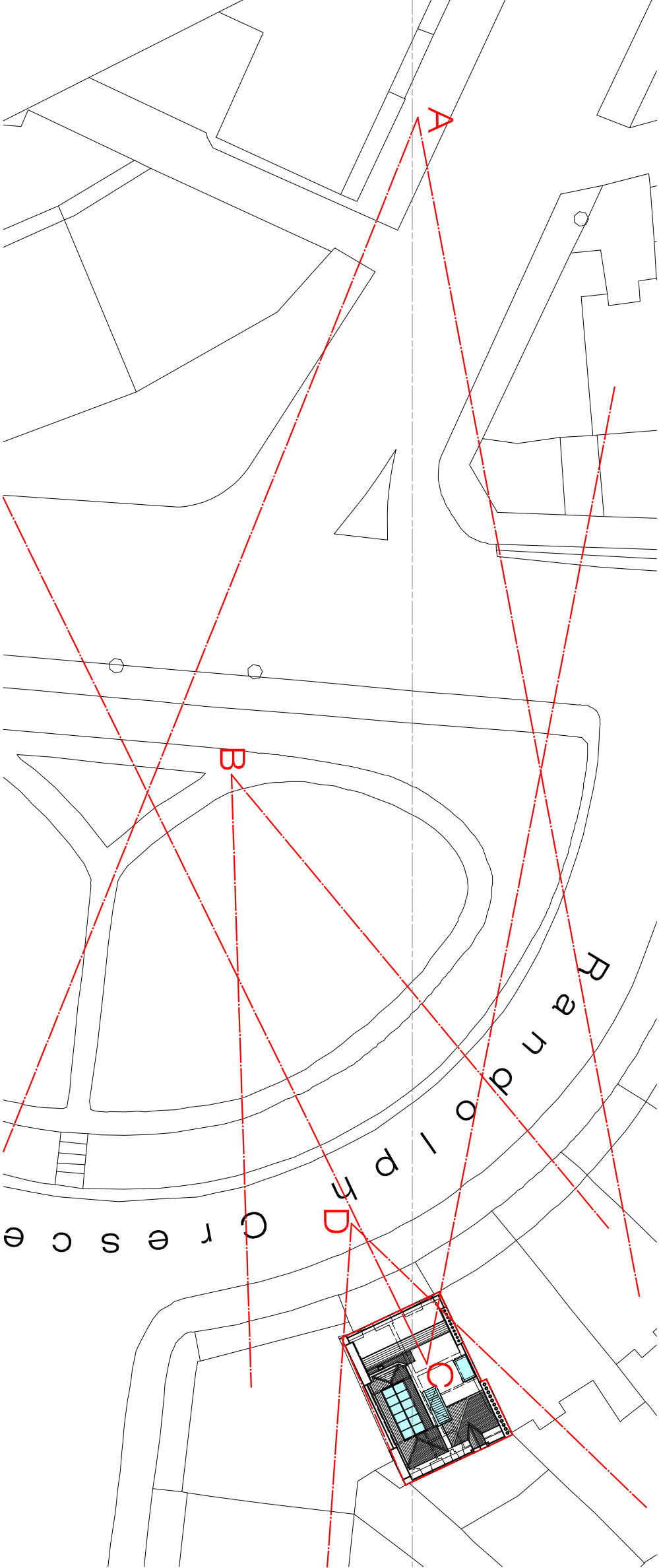
- A Existing roof and proposed glass balustrade edge just visible but partly masked by foliage
- B Existing roof and balustrade not visible (non public view from private gardens)
- C View from proposed balustrade position
- D Existing roof and proposed balustrade not visible



Detail Section
scale 1:100



Site Section
scale 1:500



Site Plan
scale 1:500



The Breakfast Mission, 15 Old Fishmarket Close, Edinburgh EH1 1RW

t: 0131 220 6125 mail@richardmurphyarchitects.com

f: 0131 220 6781 www.richardmurphyarchitects.com

Richard Murphy Architects

PROJECT TITLE
**Flat 2F, 10 Randolph Crescent
Proposed Roof Level Alterations**

DRAWING TITLE
Viewpoint Locations

DWG STATUS
Planning

DRAWN	jem	JOB NO.	595
CHECKED		DATE	16.11.20
FILE		SCALE	1:500/100

DRAWING NO.	PA/01/00	REVISION	
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